

**FIRE RESISTANCE CONSTRUCTION DESCRIPTIONS:**

Roof-Ceiling	1-Hour Fire Rated	UL Design No. P522 Wood roof trusses, wood structural panels, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, and gypsum wallboard
Roof-Ceiling	1-Hour Fire Rated	Gypsum Assoc. File No. RC 2601 or GA-610-13 (2) Layers 5/8" Type X gyp. bd. attached to underside of 2x10 min. roof/ceiling joists. Or "Fire Resistance Provided By Gypsum Board Membrane Protection": (2) layers 5/8" Type X gyp. bd. directly applied to any framing or furring.
Floor-Ceiling	1-Hour Fire Rated	UL Design No. L521, GA File No. FC 5518 Wood trusses, wood structural panels, gypsum floor topping, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, ceiling damper, and gypsum wallboard
Floor-Ceiling	1-Hour Fire Rated	UL Design No. L569, GA File No. FC 5109 Wood joists, wood structural panels, gypsum floor topping, resilient channels, glass or mineral fiber batt, blanket, or loose-fill cellulose insulation, ceiling damper, and gypsum wallboard
Wall	1-Hour Fire Rated	UL Design No. U305, GA File No. WP 3661 Wood studs, resilient channels-one side (opt.), (1) layer 5/8" Type X gypsum wall board each side, mineral or glass fiber insulation
Wall	1-Hour Fire Rated	UL Design No. U344 Wood studs, wood structural panel sheathing, resilient channels-one side (opt.), (1) layer 5/8" Type X gypsum wall board each side, mineral or glass fiber, or fiber-sprayed insulation
Wall	2-Hour Fire Rated	UL Design No. U301, GA File No. WP 4230 Wood studs, resilient channels-one side (opt.), (2) layers 5/8" Type X gypsum wall board each side, mineral or glass fiber insulation
Wall	2-Hour Fire Rated	UL Design No. U905 Concrete block (CMU)
Shaftwall	2-Hour Fire Rated	UL Design No. U415 1" Layer gypsum sheetrock liner panel (Type SLX), 1 layer 2 1/2" CH studs, 20 ga. 24" o.c., 2 layers 5/8" sheetrock gypsum liner panel (Type SCX)

**CODE COMPLIANCE ANALYSIS AND PROJECT DATA CHART**

**REFERENCE CODES**

2015 Michigan Rehabilitation Code for Existing Buildings, (MRC)	ICC/ANSI A117.1-2009 Accessible and Usable Buildings and Facilities
2021 Michigan Mechanical Code	ADA Standards for Accessible Design
2021 Michigan Plumbing Code	1989 Uniform Federal Accessibility Standards (UFAS)
2023 National Electric Code	July 2024 MSHDA Standards of Design
2015 Michigan Uniform Energy Code	December 2024, City of Detroit Zoning Ordinance
Rules NFPA 13 (Automatic Fire Protection System)	

**MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS: ALTERATION - LEVEL 2**

MRC Sect. 504: Includes the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

**USE GROUP**

MBC Sect. 310	Residential Group R-2
---------------	-----------------------

**TYPE OF CONSTRUCTION**

MBC Sect 602	Type V B (SB, all building elements of any material.), w/ approved automatic sprinkler system
--------------	---

**ALLOWABLE HEIGHT AND AREA**

MBC Table 503	Area	21,000 s.f. per floor (T. 506.2)
	Height	3 Stories (T. 504.4) / 60'-0" max. (T. 504.3)

**ACTUAL HEIGHT AND AREA**

	Area	8,113 / floor < 21,000 s.f.
	Height	4 Stories, existing > 3 Stories
		49'-0" +/- total height < 60'-0"

**ALLOWANCE PER OCCUPANT PER FLOOR**

MBC Table 1004.1.2	Business	100 s.f. gross / occupant
	Residential	200 s.f. gross / occupant
	Assembly (unconcentrated table and chairs)	15 net / occupant
	Accessory Storage, Mech Rm	300 s.f. gross / occupant

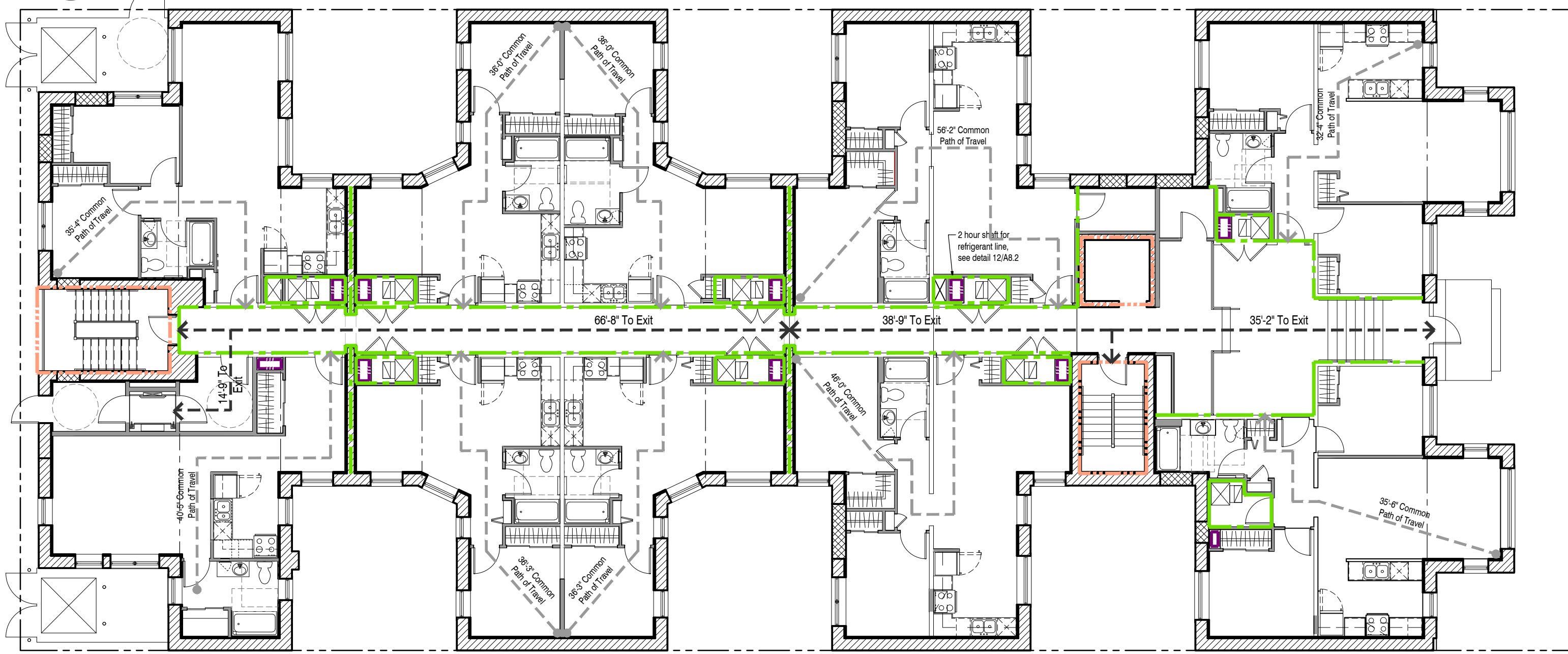
**CALCULATED OCCUPANCY LOAD PER FLOOR**

Basement - Residential	7,151 s.f. / 200 s.f. =	36 occupants
Accessory Business (Building Office & Security)	385 / 100 s.f. =	4 occupants
Accessory Assembly (Multi-Purpose)	547 s.f. / 15 s.f. =	37 occupants
Accessory Mechanical	913+637 = 1550 / 300 s.f. =	5 occupants
Accessory Electrical	623 / 300 s.f. =	2 occupants
Shared Laundry	217/100 =	2 occupants
1st - Residential	7,761 s.f. / 200 s.f. =	39 occupants
Accessory Mech.	200 s.f. / 300 s.f. =	1 occupants
2nd-4th - Residential	7,787 s.f. / 200 s.f. =	39 occupants / flr x 3
Accessory Mech.	193 s.f. / 300 s.f. =	1 occupants / flr x 3
<b>TOTAL</b>		<b>246 occupants</b>

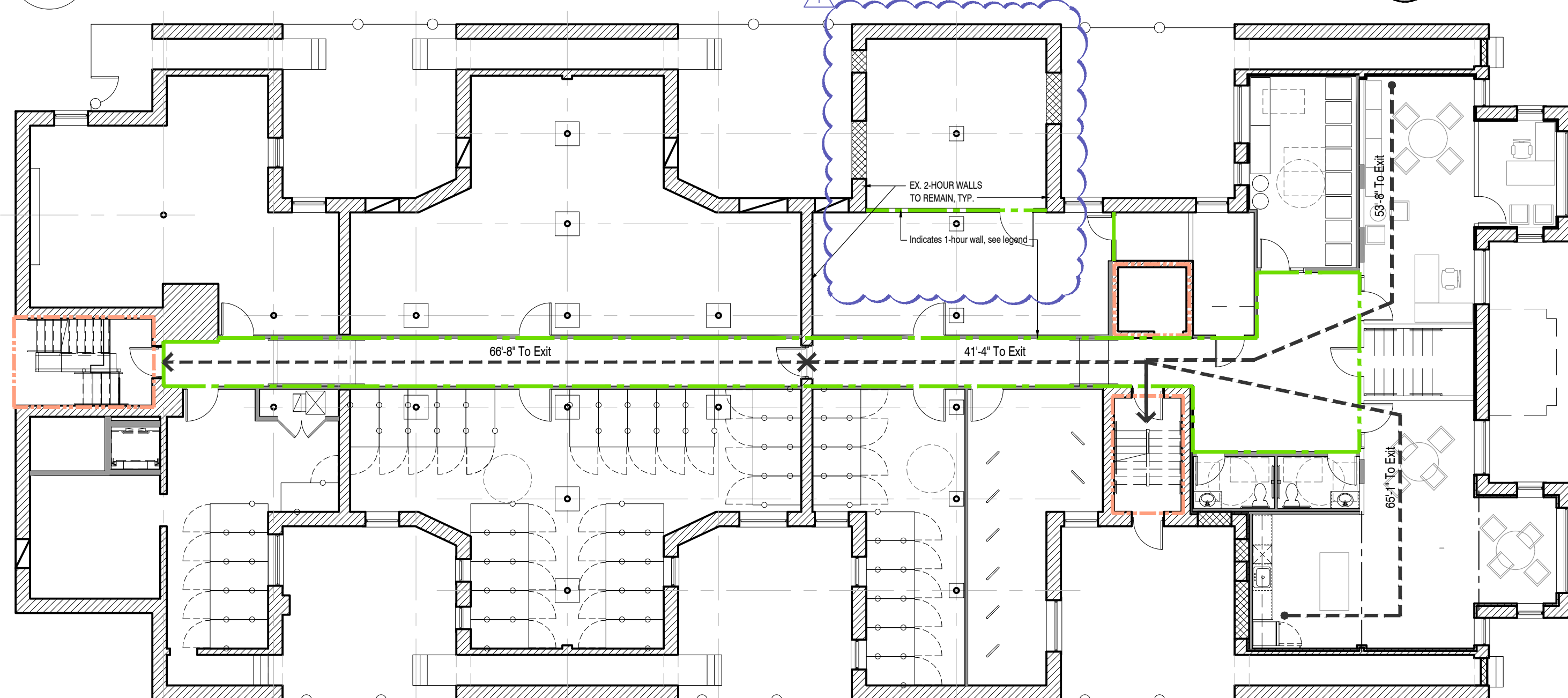
**MEANS OF EGRESS**

Max. Exit Access Travel Distance (MBC T.1017.2)	250'-0" w/ Fire Suppression System	Provided: See Life Safety Plans
Max. Dead End Corridor (MBC Sect.1020.4)	50'-0" w/ Fire Suppression System	Provided: See Life Safety Plans
Min. Corridor Width (MBC T.1020.2 & 1005.3.2)	44" Min. or 0.20' (or 0.15' w/ fire suppression) per occupant whichever is greater	Provided: 60" Min.
Min. Stairway Width (MBC Sect.1009.4 & 1005.3.1)	44" Min. or 0.3' (or 0.2' w/ fire suppression) per occupant whichever is greater. Stairways serving Occupant Load of 50 or less shall have a width of not less than 36".	Provided: 44", between handrails
Min. Number of Exits (MBC T.1006.3.1, 1)	Two (2) per floor with Occupant Load 1 - 500	Provided: 2 per floor above grade plane

3 2nd - 4th Floor - Life Safety Plan  
TS.2 Scale: 3/32" = 1'-0"



2 First Floor - Life Safety Plan  
TS.2 Scale: 3/32" = 1'-0"



1 Ground Floor - Life Safety Plan  
TS.2 Scale: 3/32" = 1'-0"

**LIFE SAFETY LEGEND**

---	TRAVEL PATH
---	1 1/2 HOUR FIRE RATED PARTITION
---	1 HOUR FIRE RATED PARTITION
---	2 HOUR FIRE RATED PARTITION
---	2 HOUR FIRE RATED WALL
---	SOLID BRICK MASONRY
---	RECESSED-10lb ABC, DRY CHEMICAL FIRE EXTINGUISHER
FE	

**Additional Accessibility Requirements**

Americans with Disabilities Act (ADA)  
The ADA sets guidelines for accessibility to places of public accommodation and commercial facilities by individuals with disabilities. Strictly residential facilities are not considered places of public accommodation and therefore would not be subject to the ADA nor would amenities provided for the exclusive use of the residents and their guests. However, common areas that function as one of the ADA's twelve categories of places of public accommodation within residential facilities are considered places of public accommodation if they are open to persons other than residents and their guests such as a rental/sales office.

Michigan Barrier-Free

Parking (MBC Sect 1106.2)  
2%, but not less than one, of each type of parking space provided

Accessible Routes (MBC Sect 1104.4)  
At least one accessible route shall connect each accessible level in multilevel buildings and facilities. Exception 2: Levels that do not contain accessible elements or other spaces required by Section 1107 or 1108 are not required to be served by an accessible route from an accessible level.

Entrances and Exits (MBC Sect 1105.1.6)  
Tenant spaces, dwelling units and sleeping units: At least one accessible entrance shall be provided to each tenant, dwelling unit and sleeping unit within a facility.

Dwelling Unit Distribution (MBC Sect 1107.7.3)  
All units on accessible levels (elevator access) shall be TYPE B per ICC/ANSI A117.1. Minimum 5% of the units shall be TYPE A per ICC/ANSI A117.1 if there are more than 20 dwelling or sleeping units. 40 units x 5% = 2 units

**Accessibility Requirements**

Fair Housing Act (FHA)  
All covered units in NEW multifamily housing built for first occupancy after March 13, 1991 shall adhere to the Seven Technical Requirements of the Fair Housing Act Design Manual. To be a covered unit, all of the finished living space must be on the same floor, that is, be a single-story unit.

Requirement 1 Accessible building entrance on an accessible route  
Requirement 2 Accessible and usable public and common use areas  
Requirement 3 Usable doors  
Requirement 4 Accessible route into and through the Covered Unit  
Requirement 5 Light switches, electrical outlets, thermostats, and other environmental controls in accessible locations  
Requirement 6 Reinforced walls for grab bars  
Requirement 7 Usable kitchens and bathrooms

Section 504 of the Rehabilitation Act of 1973  
Section 504 pertains to Federally Funded projects ONLY. Scoping requirements are set forth in HUD's final regulation and may be found at 24 CFR Part 8. Applicable units shall be made accessible per the technical requirements of UFAS (Uniform Federal Accessibility Standards)

5% of the total dwelling units shall be made accessible for persons with mobility impairments. 25 units x 5% = 2 units  
2% of the total dwelling units shall be made accessible for persons with hearing or vision impairments. 25 units x 2% = 1 unit.

UFAS Sect. 4.28 "If provided, audible emergency alarms shall produce a sound that exceeds the prevailing equivalent sound level in the room or space by at least 15 decibels or exceeds any maximum sound level with a duration of 30 seconds by 5 decibels, whichever is louder. Sound levels for alarm signals shall not exceed 120 decibels."

"If provided, electrically powered internally illuminated emergency exit signs shall flash as a visual emergency alarm in conjunction with audible emergency alarms. The flashing frequency of visual alarm devices shall be less than 5 Hz. If such alarms use electricity from the building as a power source, then they shall be installed on the same system as the audible emergency alarms."

"Accessible sleeping accommodations shall have a visual alarm connected to the building emergency alarm system or shall have a standard 110-volt electrical receptacle into which such an alarm could be connected. Instructions for use of the auxiliary alarm or connection shall be provided."

**SHELTER**  
DESIGN STUDIO LLC

419 E. 4th Street  
Royal Oak, Michigan 48067

248.629.7153 ph.

www.SHELTERSTUDIOLLC.com

Architect of Record

STATE OF MICHIGAN  
STEPHEN G. PARISEAU  
ARCHITECT  
No. 1301060682  
LICENSED ARCHITECT

104 W. Fourth St., Suite 303  
Royal Oak, MI 48067

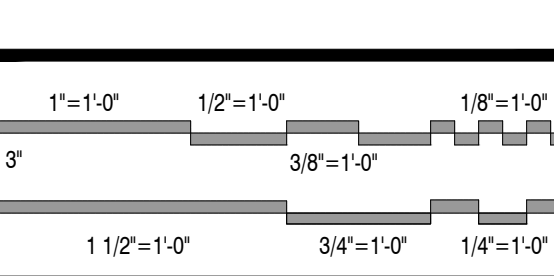
248.629.7153 ph.

Owner

DEVELOP DETROIT  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project

Apartment Renovation  
LINWOOD APARTMENTS  
2295 W Grand Blvd  
Detroit, MI 48208



Issued For Date

Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
Plan Review Revisions	03.20.2025
Plan Review Revisions	06.11.2025
MSHDA Revisions	04.10.2026

Drawing Title

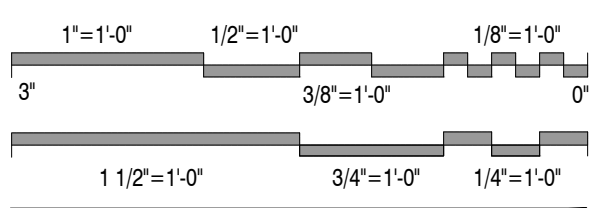
**Building Code Summary & Life Safety Plans**

2021-248

Project No. JMH  
Drawn By JMH  
As Noted  
Scale

SGP  
Checked By SGP

TS.2  
Drawing No.



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title

**Overall Demolition**  
**Floor Plans:**  
**Floors Basmnt, 1**

2021-248

Project No.

JMH

Drawn By

As Noted

Scale

SGP

Checked By

**D1.1**

Drawing No.

**DEMOLITION GENERAL NOTES**

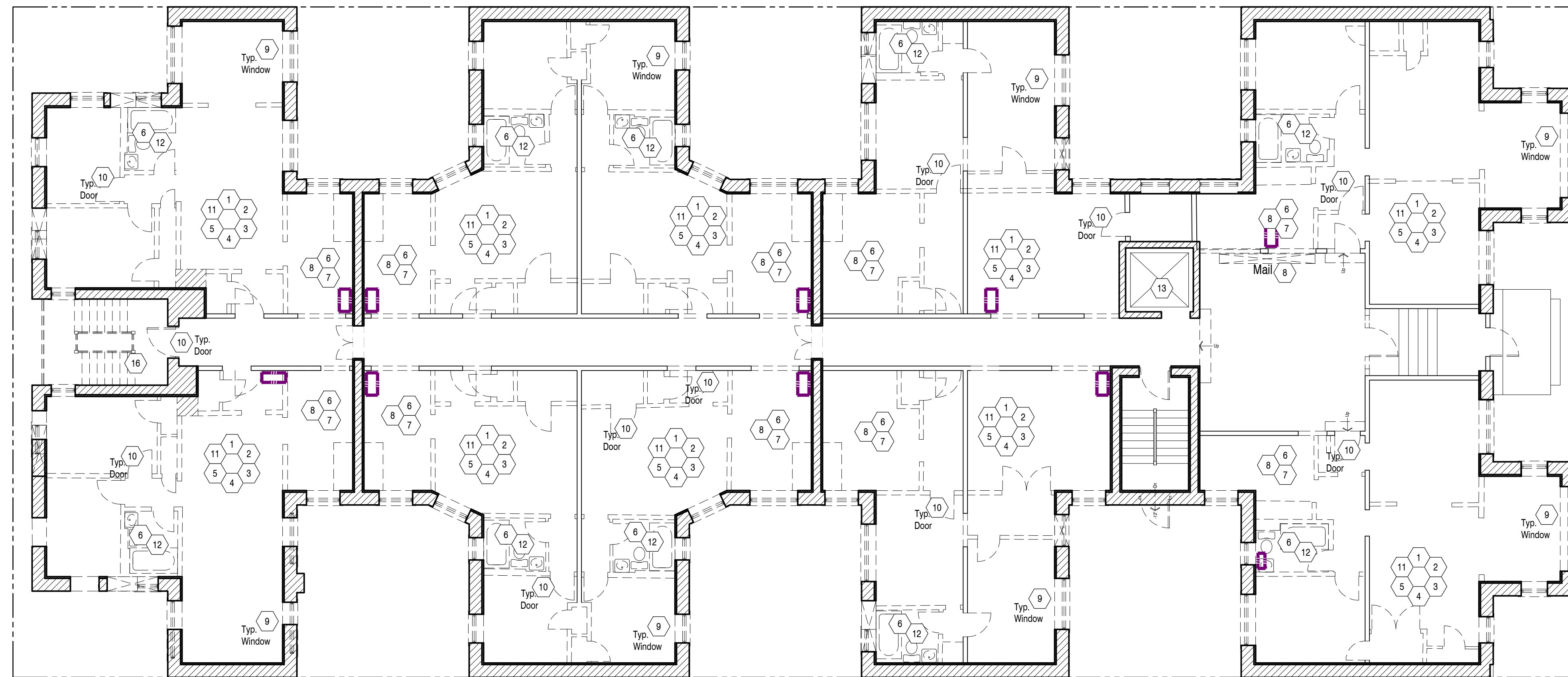
- Demolition contractor shall strip existing interior walls prior to demolition of framing. Contractor shall notify Architect upon completion of finish removal for site inspection of load bearing conditions and hidden structural elements. ASSUME ALL CORRIDOR WALLS ARE LOAD-BEARING.
- Demolition shall be performed in accordance with ANSI 10.8 "Safety Requirements for Demolition" and with OSHA Regulations. Demolition shall conform to all building code regulations pertaining to wrecking, including payment for any special permits.
- Perform wrecking and removal operations in such a manner as to ensure the least possibility of damage to remaining structures, materials or equipment. Conduct demolition operations and removal of debris to ensure minimum interference with other adjacent occupied or used areas. Ensure safe passage of persons around area of demolition. Promptly repair damage caused to adjacent areas by demolition operations at no cost to Owner.
- Items to be removed and salvaged shall be prepared and transported to Owner's designated storage area. Verify with Owner items to be salvaged prior to start of demolition work.
- Maintain existing utilities indicated to remain. Keep existing utilities in service and protect against damage during demolition operations. Do not interrupt existing utilities serving occupied or used areas, except when authorized in writing by the Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to the Owner and to governing authorities. Disconnecting and capping of indicated utilities before starting demolition operations is part of this work.
- All removed fixtures and equipment are property of the Owner. Should Owner elect to dispose of such equipment and fixtures, the Contractor shall dispose of these items legally and in a timely manner. All other salvage and products of demolition and removal shall become the property of the Contractor and shall be removed from the premises in a timely legal manner.
- Refuse and debris shall be promptly removed to minimize dust and be disposed of in a lawful manner off Owner's property.
- Demolition contractor shall verify existing condition of area to be improved prior to submitting bids.
- Contractor shall be responsible for removal, demolition, cutting and patching of all existing interior components and systems whatsoever to prepare the area for all interior improvements.
- Remove all existing interior partition (NON-LOAD-BEARING) walls, furred walls, ceilings, floor finishes, conduit, piping, mechanical and electrical systems, etc. (i.e. all items whatsoever that are not necessary to remain).
- If asbestos, lead based paint or other hazardous materials are encountered, materials shall be remediated as per Federal (Part 35) Regulations.
  - Asbestos Containing Materials (ACM) abatement activities must be based upon an ACM inspection meeting the requirements of the National Emissions Standards for Hazardous Air Pollutants (NESHAP).
  - All abatement work shall be performed by an appropriately licensed and insured abatement contractor.
  - Abatement contractor(s) shall indicate on Architectural Construction Documentation the extent of work and materials requiring abatement.
  - All abatement work shall follow federal, state and local regulations.
  - All painted surfaces shall be removed and require dust sampling after tear-out.

**FLOOR PLAN DEMOLITION KEY NOTES**

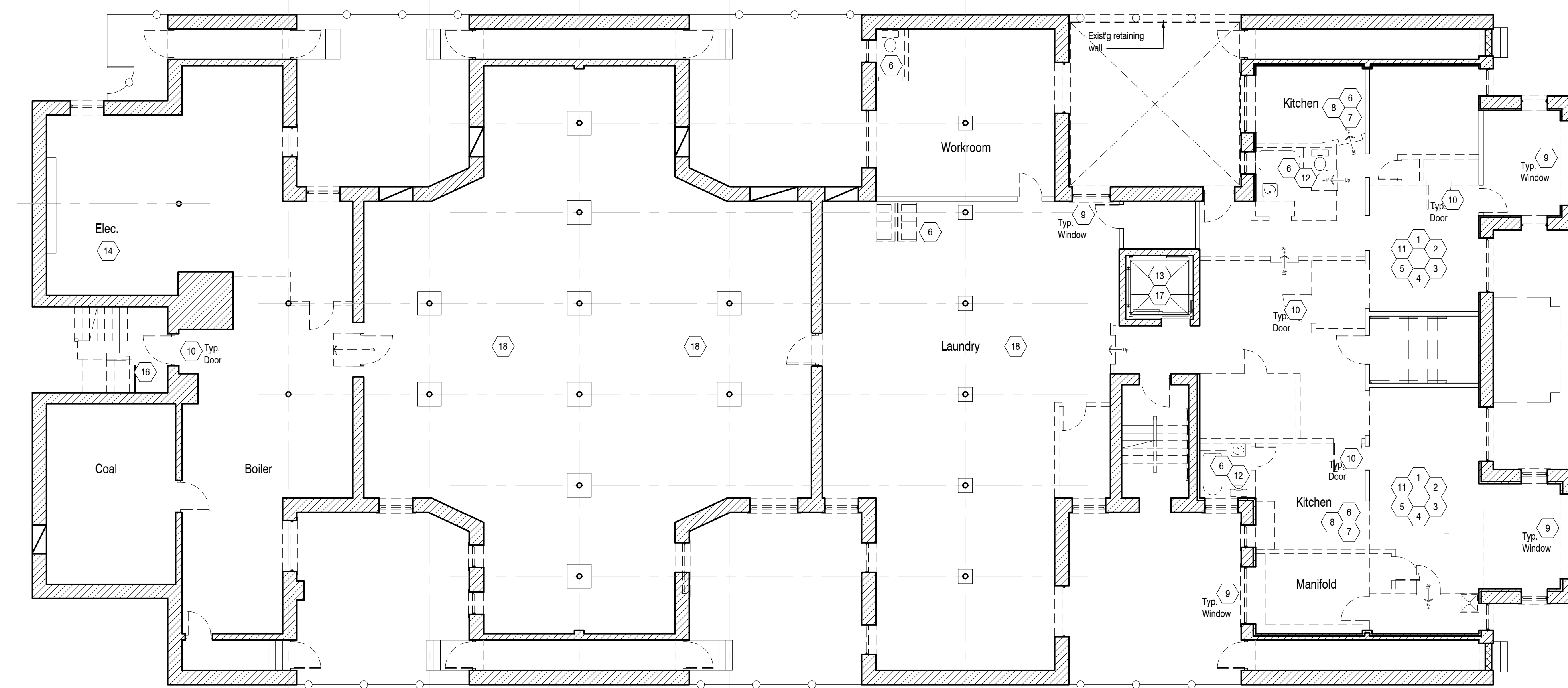
- Completely remove existing non-load bearing partition wall construction including wood framing, lath, plaster and wood trim. LOAD BEARING CONDITIONS SHALL REMAIN UNLESS SHORED OR REPLACED WITH ALTERNATE STRUCTURE.
- Remove existing glaster, lath, and furring from existing masonry or framed walls to remain.
- Remove existing plaster ceiling and lath from existing floor/ceiling wood joists. Inspect integrity of wood joists. Remove/replace damaged or rotted members.
- Remove existing electrical system including light fixtures, electrical outlets, conduit, junction boxes, wiring, electrical panels and meters, etc.
- Remove existing mechanical equipment including radiators, steam heat piping, water heaters, flues, gas piping, etc.
- Remove existing kitchen/bathroom fixtures including sinks, lavs., toilets, tubs, showers. Remove associated hot and cold water supply piping, vent piping, and waste piping. Cap existing waste piping in basement.
- Remove existing free-standing appliances and furniture including refrigerators, stoves/ranges, and mattresses.
- Remove all cabinets and built-in millwork.
- Remove existing wood windows including wood sills, jambs, casing, and trim.
- Remove existing doors including thresholds, casing, and trim.
- Remove existing wood finish flooring to expose existing wood sub-floor.
- Remove ceramic tile floor and associated grout bed/slab.
- Existing elevator to remain.
- Entirely remove existing overhead elec. service connection and all switchgear - see Elec Dwg.
- Not Used
- Remove existing exterior stair and handrail.
- Existing elevator shaft to remain.
- Remove existing concrete slab for installation of new underground sanitary.

**DEMO LEGEND:**

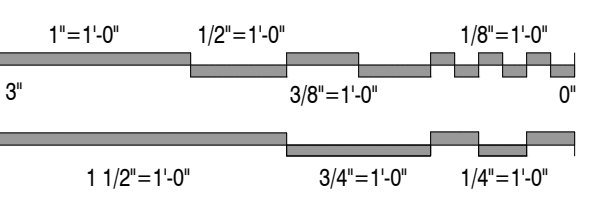
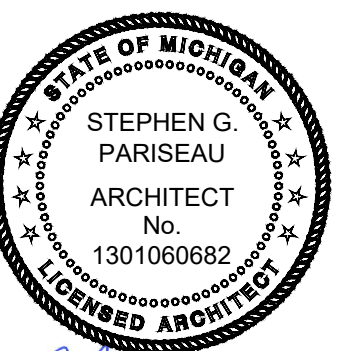
Graphic Representation	Description
	EXISTING solid masonry wall
	EXISTING partition wall to remain
	Extent of demolition
	PRESUMED load bearing. FIELD VERIFY ALL BEARING CONDITIONS PRIOR TO DEMOLITION
	EXISTING fencing



**2 Overall DEMO. Floor Plan - Floor 1**  
D1.1 Scale: 1/8" = 1'-0"



**1 Overall DEMO. Floor Plan - Basement**  
D1.1 Scale: 1/8" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Overall Demolition**  
**Floor Plans:**  
**Floors 2 - 4**

2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

SGP  
Checked By

**D1.2**  
Drawing No.

**DEMOLITION GENERAL NOTES**

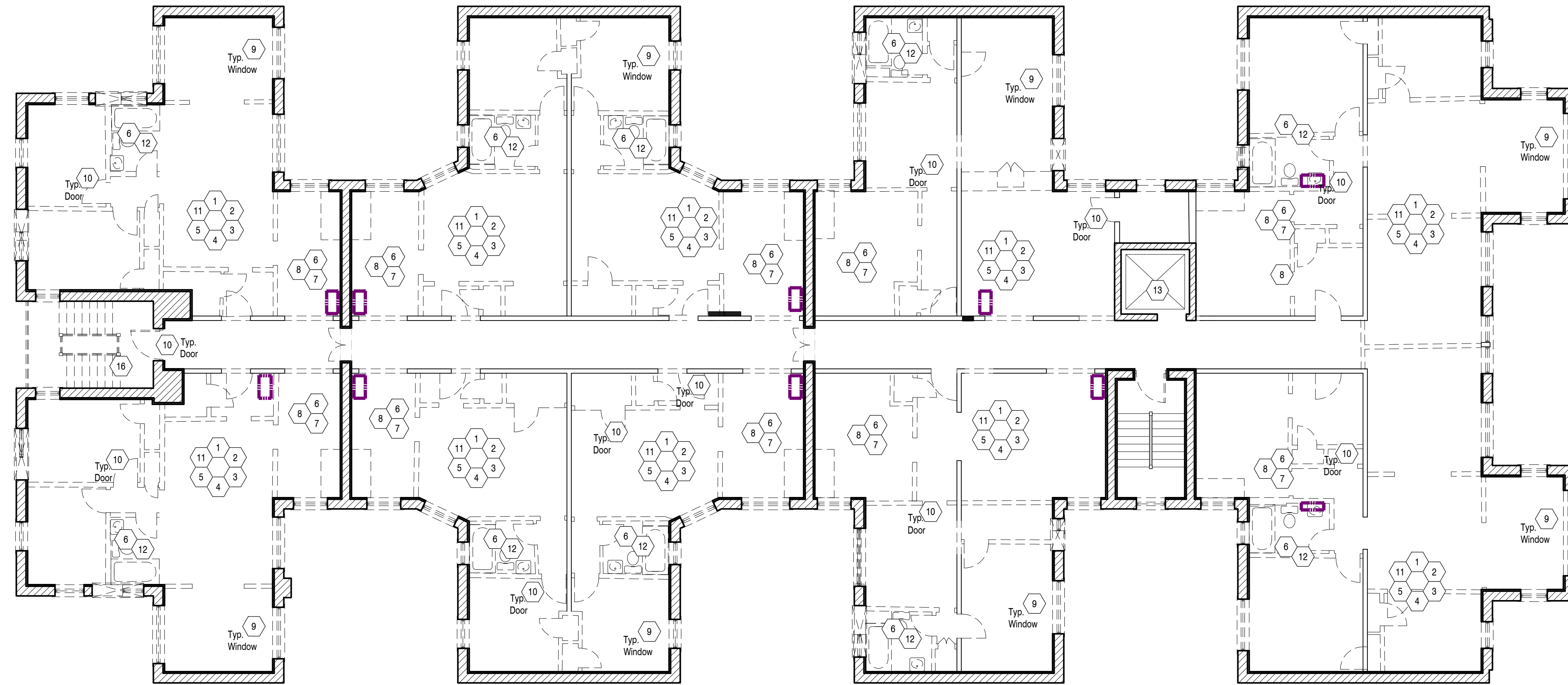
- Demolition contractor shall strip existing interior walls prior to demolition of framing. Contractor shall notify Architect upon completion of finish removal for site inspection of load bearing conditions and hidden structural elements. ASSUME ALL CORRIDOR WALLS ARE LOAD-BEARING.
- Demolition shall be performed in accordance with ANSI 10.6 "Safety Requirements for Demolition" and with OSHA Regulations. Demolition shall conform to all building code regulations pertaining to wrecking, including payment for any special permits.
- Perform wrecking and removal operations in such a manner as to ensure the least possibility of damage to remaining structures, materials or equipment. Conduct demolition operations and removal of debris to ensure minimum interference with other adjacent occupied or used areas. Ensure safe passage of persons around area of demolition. Promptly repair damage caused to adjacent areas by demolition operations at no cost to Owner.
- Items to be removed and salvaged shall be prepared and transported to Owner's designated storage area. Verify with Owner items to be salvaged prior to start of demolition work.
- Maintain existing utilities indicated to remain. Keep existing utilities in service and protect against damage during demolition operations. Do not interrupt existing utilities serving occupied or used areas, except when authorized in writing by the Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to the Owner and to governing authorities. Disconnecting and capping of indicated utilities before starting demolition operations is part of this work.
- All removed fixtures and equipment are property of the Owner. Should Owner elect to dispose of such equipment and fixtures, the Contractor shall dispose of these items legally and in a timely manner. All other salvage and products of demolition and removal shall become the property of the Contractor and shall be removed from the premises in a timely legal manner.
- Refuse and debris shall be promptly removed to minimize dust and be disposed of in a lawful manner off Owner's property.
- Demolition contractor shall verify existing condition of area to be improved prior to submitting bids.
- Contractor shall be responsible for removal, demolition, cutting and patching of all existing interior components and systems whatsoever to prepare the area for all interior improvements.
- Remove all existing interior partition (NON-LOAD BEARING) walls, furred walls, ceilings, floor finishes, conduit, piping, mechanical and electrical systems, etc. (i.e. all items whatsoever that are not necessary to remain).
- If asbestos, lead based paint or other hazardous materials are encountered, materials shall be remediated as per Federal (Part 35) Regulations.
  - Asbestos Containing Materials (ACM) abatement activities must be based upon an ACM inspection meeting the requirements of the National Emissions Standards for Hazardous Air Pollutants (NESHAP).
  - All abatement work shall be performed by an appropriately licensed and insured abatement contractor.
  - Abatement contractor(s) shall indicate on Architectural Construction Documentation the extent of work and materials requiring abatement.
  - All abatement work shall follow federal, state and local regulations.
  - All painted surfaces shall be removed and require dust sampling after tear-out.

**FLOOR PLAN DEMOLITION KEY NOTES**

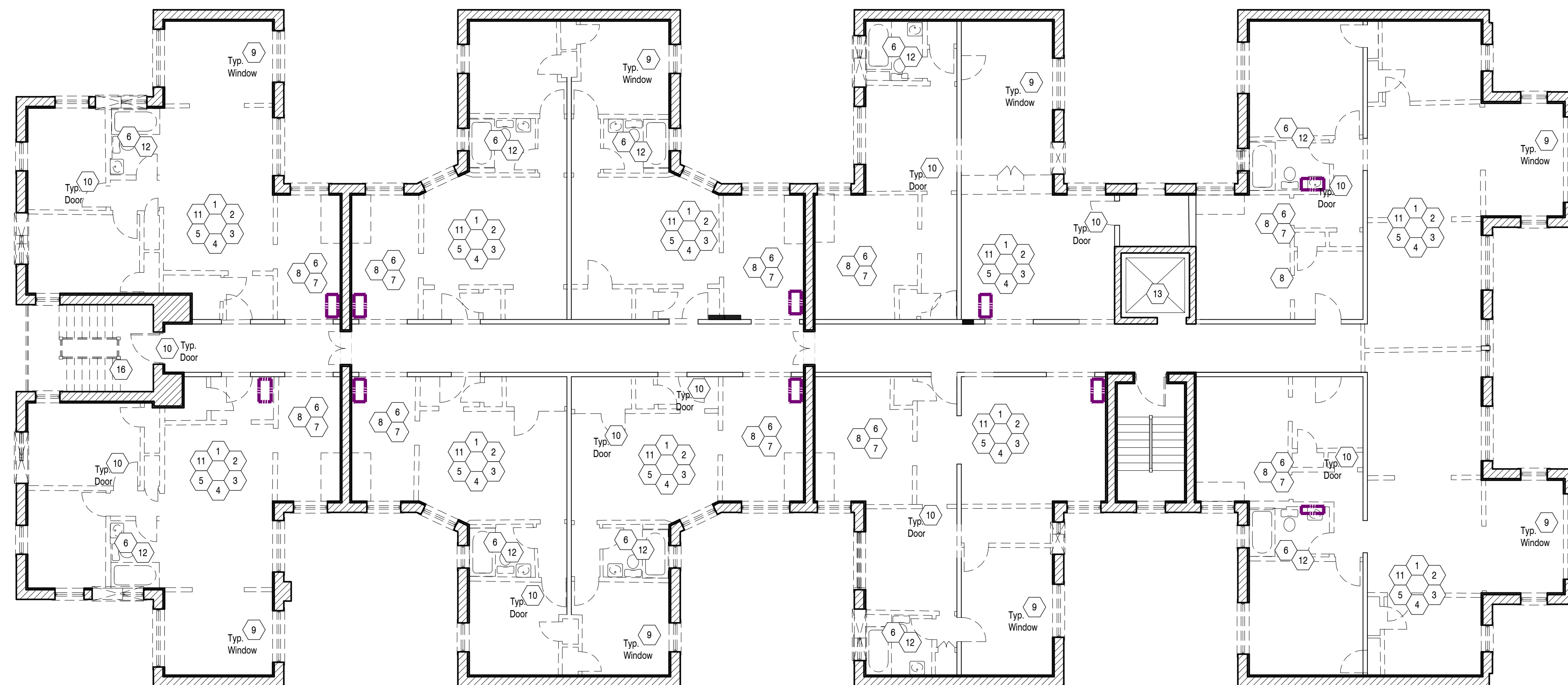
- Completely remove existing non-load bearing partition wall construction including wood framing, lath, plaster and wood trim. LOAD BEARING CONDITIONS SHALL REMAIN UNTIL SHORED OR REPLACED WITH ALTERNATE STRUCTURE.
- Remove existing plaster, lath, and furring from existing masonry or framed walls to remain.
- Remove existing plaster ceiling and lath from existing floor/ceiling wood joists. Inspect integrity of wood joists. Remove/replace damaged or rotted members.
- Remove existing electrical system including light fixtures, electrical outlets, conduit, junction boxes, wiring, electrical panels and meters, etc.
- Remove existing mechanical equipment including radiators, steam heat piping, water heaters, flues, gas piping, etc.
- Remove existing kitchen/bathroom fixtures including sinks, lavs, toilets, tubs, showers. Remove associated hot and cold water supply piping, vent piping, and waste piping. Cap existing waste piping in basement.
- Remove existing free-standing appliances and furniture including refrigerators, stoves/ranges, and mattresses.
- Remove all cabinets and built-in millwork.
- Remove existing wood windows including wood sills, jambs, casing, and trim.
- Remove existing doors including thresholds, casing, and trim.
- Remove existing wood finish flooring to expose existing wood sub-floor.
- Remove ceramic tile floor and associated grout bed/slab.
- Existing elevator to remain.
- Entirely remove existing overhead elec. service connection and all switchgear - see Elec Dwg's.
- Not Used
- Remove existing exterior stair and handrail.
- Existing elevator shaft to remain.
- Remove existing concrete slab for installation of new underground sanitary.

**DEMO LEGEND:**

Graphic Representation	Description
	EXISTING solid masonry wall
	EXISTING partition wall to remain
	Extent of demolition
	PRESUMED load bearing. FIELD VERIFY ALL BEARING CONDITIONS PRIOR TO DEMOLITION
	EXISTING fencing



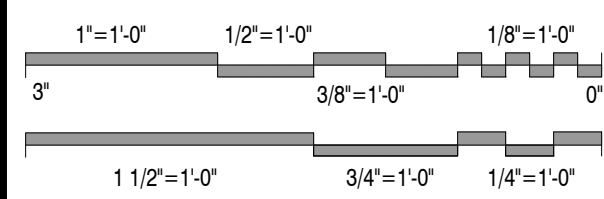
**2** Overall DEMO. Floor Plan - Floor 4  
D1.2 Scale: 1/8" = 1'-0"



**1** Overall DEMO. Floor Plan - Floors 2, 3  
D1.2 Scale: 1/8" = 1'-0"



*Stephen G. Pariseau*



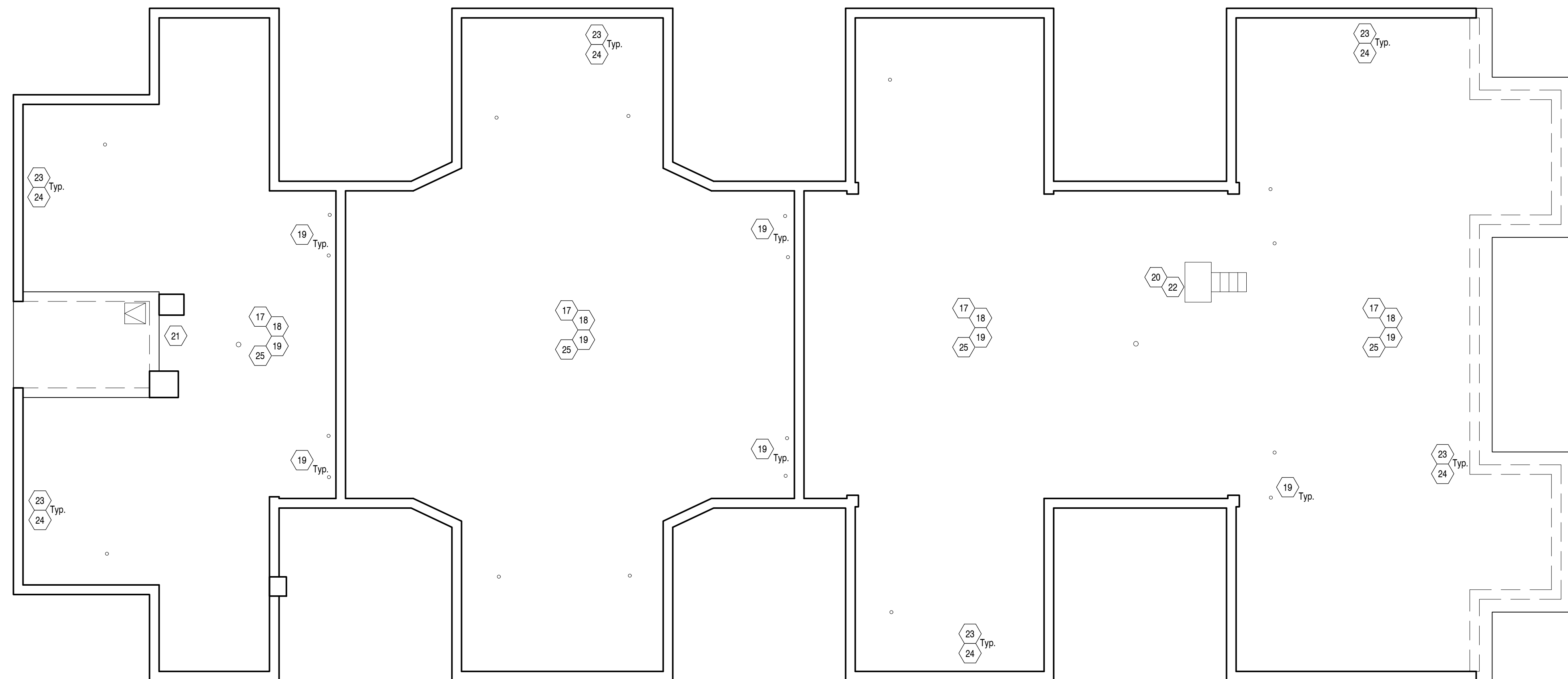
Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

**DEMOLITION GENERAL NOTES**

- Demolition contractor shall strip existing interior walls prior to demolition of framing. Contractor shall notify Architect upon completion of finish removal for site inspection of load bearing conditions and hidden structural elements. ASSUME ALL CORRIDOR WALLS ARE LOAD-BEARING.
- Demolition shall be performed in accordance with ANSI 10.6 "Safety Requirements for Demolition" and with OSHA Regulations. Demolition shall conform to all building code regulations pertaining to wrecking, including payment for any special permits.
- Perform wrecking and removal operations in such a manner as to ensure the least possibility of damage to remaining structures, materials or equipment. Conduct demolition operations and removal of debris to ensure minimum interference with other adjacent occupied or used areas. Ensure safe passage of persons around area of demolition. Promptly repair damage caused to adjacent areas by demolition operations at no cost to Owner.
- Items to be removed and salvaged shall be prepared and transported to Owner's designated storage area. Verify with Owner items to be salvaged prior to start of demolition work.
- Maintain existing utilities indicated to remain. Keep existing utilities in service and protect against damage during demolition operations. Do not interrupt existing utilities serving occupied or used areas, except when authorized in writing by the Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to the Owner and to governing authorities. Disconnecting and capping of indicated utilities before starting demolition operations is part of this work.
- All removed fixtures and equipment are property of the Owner. Should Owner elect to dispose of such equipment and fixtures, the Contractor shall dispose of these items legally and in a timely manner. All other salvage and products of demolition and removal shall become the property of the Contractor and shall be removed from the premises in a timely legal manner.
- Refuse and debris shall be promptly removed to minimize dust and be disposed of in a lawful manner off Owner's property.
- Demolition contractor shall verify existing condition of area to be improved prior to submitting bids.
- Contractor shall be responsible for removal, demolition, cutting and patching of all existing interior components and systems whatsoever to prepare the area for all interior improvements.
- Remove all existing interior partition (NON-LOAD-BEARING) walls, furred walls, ceilings, floor finishes, conduit, piping, mechanical and electrical systems, etc. (i.e. all items whatsoever that are not necessary to remain).
- If asbestos, lead based paint or other hazardous materials are encountered, materials shall be remediated as per Federal (Part 35) Regulations.
  - Asbestos Containing Materials (ACM) abatement activities must be based upon an ACM inspection meeting the requirements of the National Emissions Standards for Hazardous Air Pollutants (NESHAP).
  - All abatement work shall be performed by an appropriately licensed and insured abatement contractor.
  - Abatement contractor(s) shall indicate on Architectural Construction Documentation the extent of work and materials requiring abatement.
  - All abatement work shall follow federal, state and local regulations.
  - All painted surfaces shall be removed and require dust sampling after tear-out.

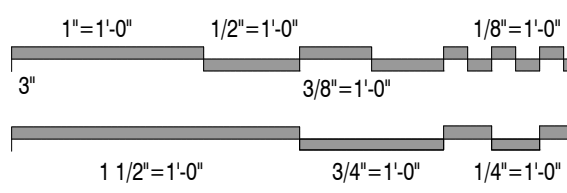
**ROOF PLAN DEMOLITION KEY NOTES**

- Remove existing built up roofing. Inspect existing structural members for damage.
- Remove and replace existing attic vents.
- Remove and replace existing vent stacks.
- Existing elevator shaft penthouse to remain
- Remove existing mechanical equipment
- Remove existing doors including thresholds, casing, and trim.
- Remove existing flashing, typ.
- Remove existing gutters and downspouts
- Remove and replace existing roof drain.



**2** Overall Roof Plan  
A1.2 Scale: 1/8" = 1'-0"





Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Elevation  
Demolition**

2021-248	Project No.
JMH	SGP
Drawn By	Checked By
As Noted	Scale

**D2.1**  
Drawing No.

**ELEVATION DEMOLITION KEY NOTES**

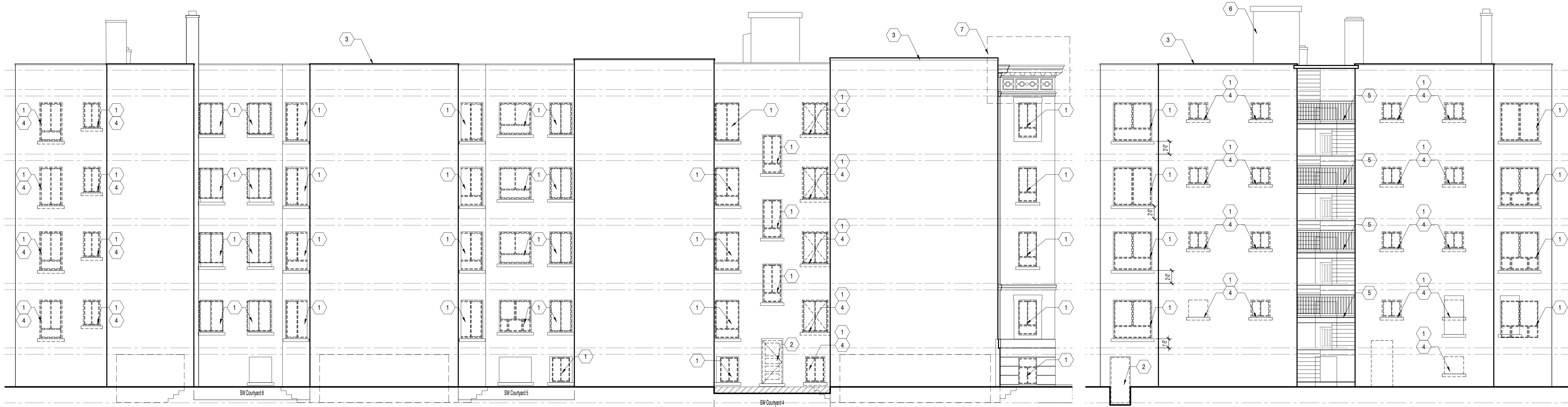
- 1 Remove existing wood windows including wood sills, jambs, casing, and trim.
- 2 Remove existing doors including thresholds, casing, and trim.
- 3 Remove existing gutter, downspouts, and associated wood nailers.
- 4 Limestone sill to remain where windows are getting closed in. New brick infill to sit back 1" from face of existing.
- 5 Remove, repair/replace stair and stair components.
- 6 Remove existing elevator shaft above existing roof.
- 7 Remove and replace all terra cotta joints, throughout.

**ELEVATION GENERAL NOTES**

1. Tuck point all sills, 100%.
2. Inspect all window and door lintel integrity, repair/replace as necessary
3. Remove and replace 100% of the joints in the terra cotta masonry.
4. Infill masonry shall be salvaged or new brick to match size, color, and texture for seamless transition to existing brick.
5. Remove paint and graffiti from all existing masonry.
6. Clean all existing masonry, refer to 'Masonry Cleaning and Restoration Specification' Section.

**DEMOLITION GENERAL NOTES**

1. Demolition shall be performed in accordance with ANSI 10.6 'Safety Requirements for Demolition' and with OSHA Regulations. Demolition shall conform to all building code regulations pertaining to wrecking, including payment for any special permits.
2. Perform wrecking and removal operations in such a manner as to ensure the least possibility of damage to remaining structures, materials or equipment. Conduct demolition operations and removal of debris to ensure minimum interference with other adjacent occupied or used areas. Ensure safe passage of persons around area of demolition. Promptly repair damage caused to adjacent areas by demolition operations at no cost to Owner.



**8 SW Elevation**  
D2.1 Scale: 1/8" = 1'-0"

**2 NW Elevation - Alley**  
D2.1 Scale: 1/8" = 1'-0"

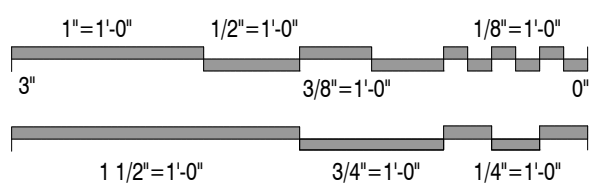


**7 SW Elevation- Courtyard 6**  
D2.1 Scale: 1/8" = 1'-0"

**5 SW Elevation- Courtyard 5**  
D2.1 Scale: 1/8" = 1'-0"

**D2.1/A3.1 SW Elevation- Courtyard 4**  
Scale: 1/8" = 1'-0"

**1 SE Elevation - W Grand Blvd**  
D2.1 Scale: 1/8" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Elevation  
Demolition**

2021-248  
Project No. JMH  
Drawn By As Noted  
Scale  
SGP  
Checked By

**D2.2**  
Drawing No.

**ELEVATION DEMOLITION KEY NOTES**

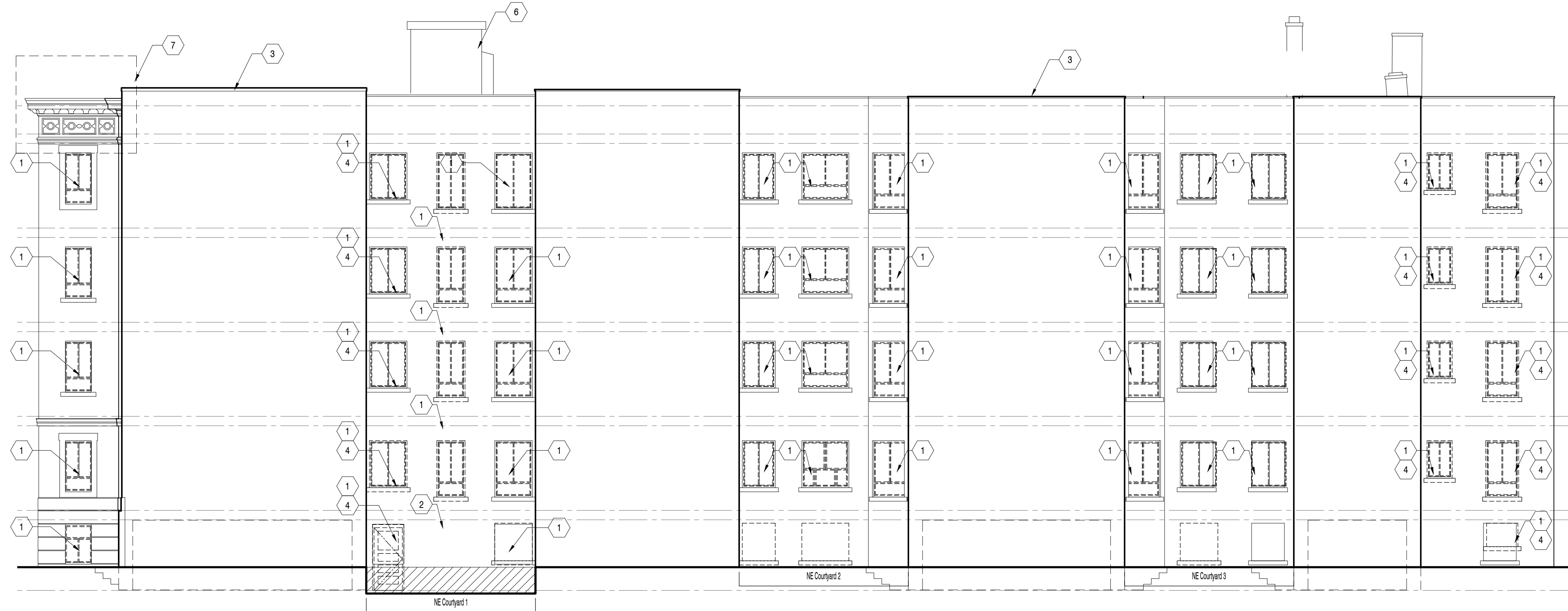
- 1 Remove existing wood windows including wood sills, jambs, casing, and trim.
- 2 Remove existing doors including thresholds, casing, and trim.
- 3 Remove existing gutter, downspouts, and associated wood nailers.
- 4 Limestone sill to remain where windows are getting closed in. New brick infill to sit back 1" from face of existing.
- 5 Remove, repair/replace stair and stair components.
- 6 Remove existing elevator shaft above existing roof.
- 7 Remove and replace all terra cotta joints, throughout.

**ELEVATION GENERAL NOTES**

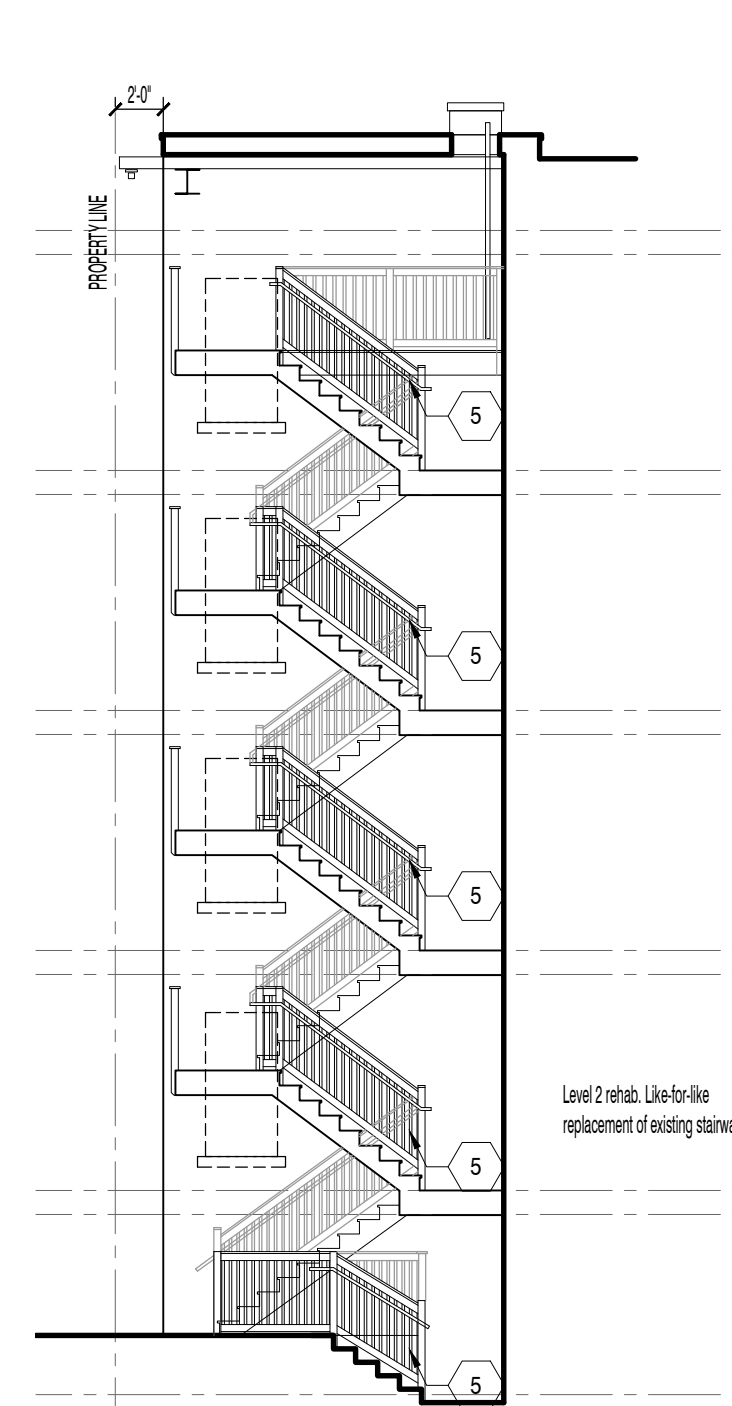
1. Tuck point all sills, 100%.
2. Inspect all window and door lintel integrity, repair/replace as necessary.
3. Remove and replace 100% of the joints in the terra cotta masonry.
4. Infill masonry shall be salvaged or new brick to match size, color, and texture for seamless transition to existing brick.
5. Remove paint and graffiti from all existing masonry.
6. Clean all existing masonry, refer to 'Masonry Cleaning and Restoration Specification' Section.

**DEMOLITION GENERAL NOTES**

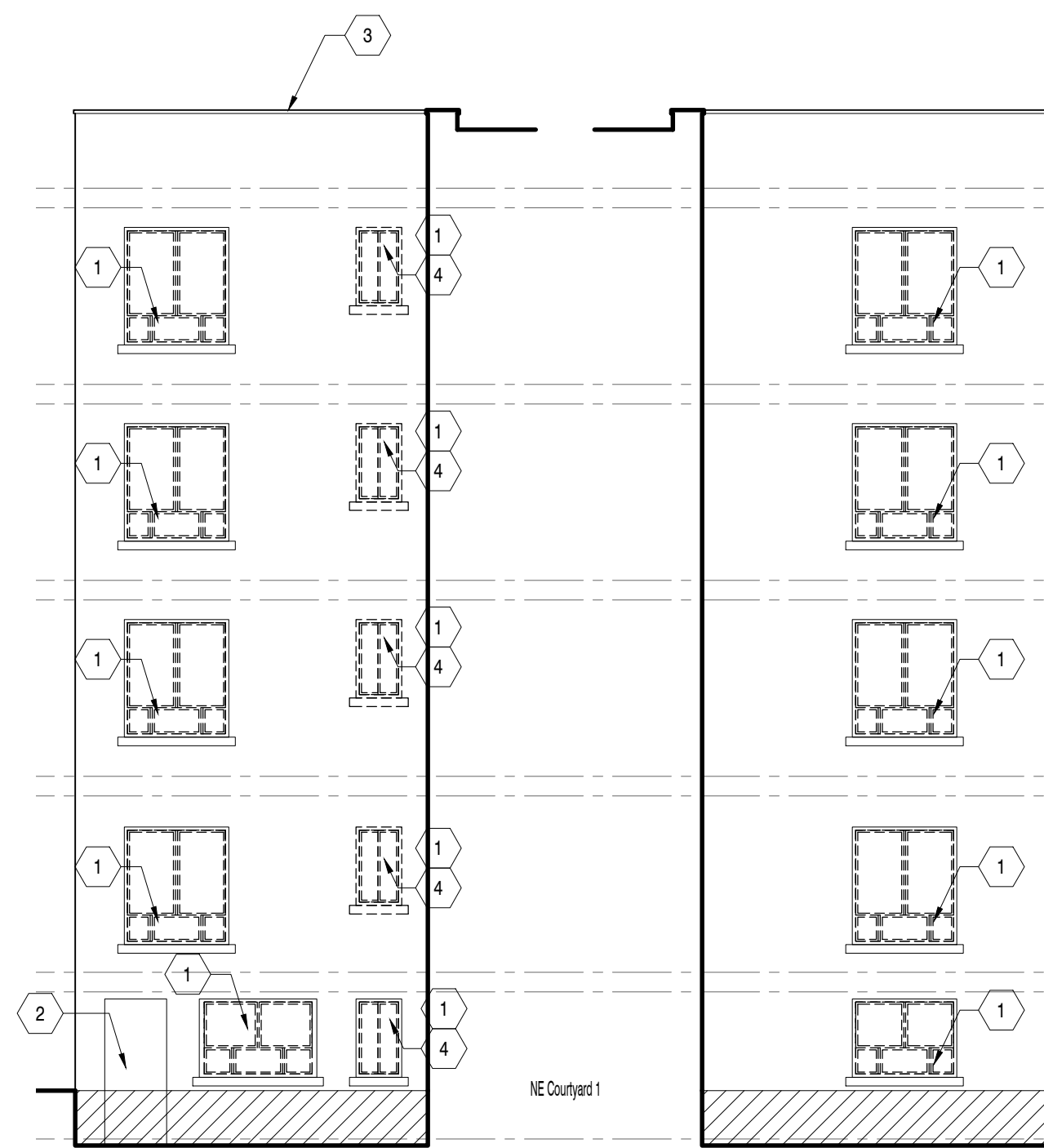
1. Demolition shall be performed in accordance with ANSI 10.6 Safety Requirements for Demolition and with OSHA Regulations. Demolition shall conform to all building code regulations pertaining to wrecking, including payment for any special permits.
2. Perform wrecking and removal operations in such a manner as to ensure the least possibility of damage to remaining structures, materials or equipment. Conduct demolition operations and removal of debris to ensure minimum interference with other adjacent occupied or used areas. Ensure safe passage of persons around area of demolition. Promptly repair damage caused to adjacent areas by demolition operations at no cost to Owner.



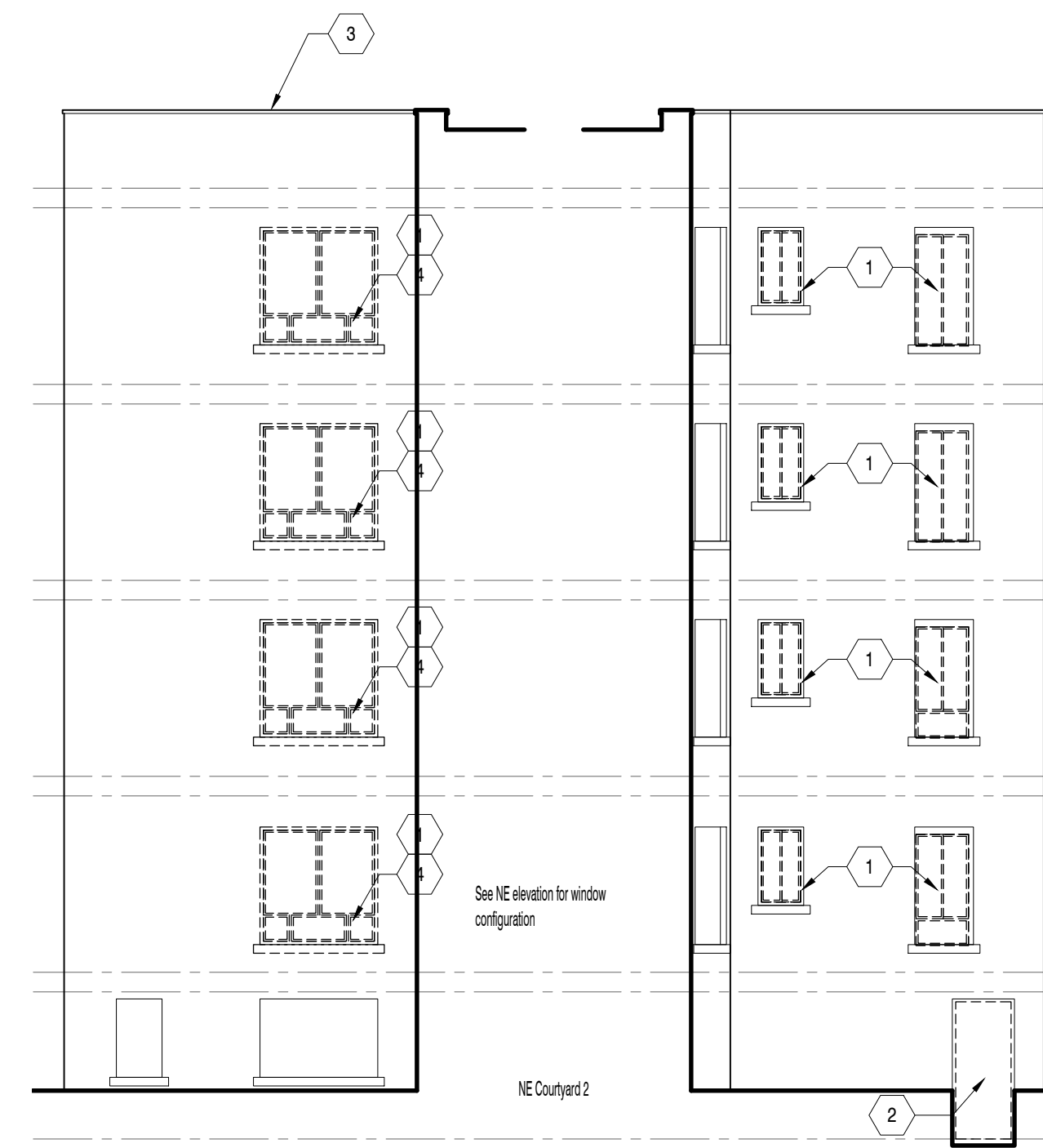
**6 NE Elevation - Linwood Street**  
D2.2 Scale: 1/8" = 1'-0"



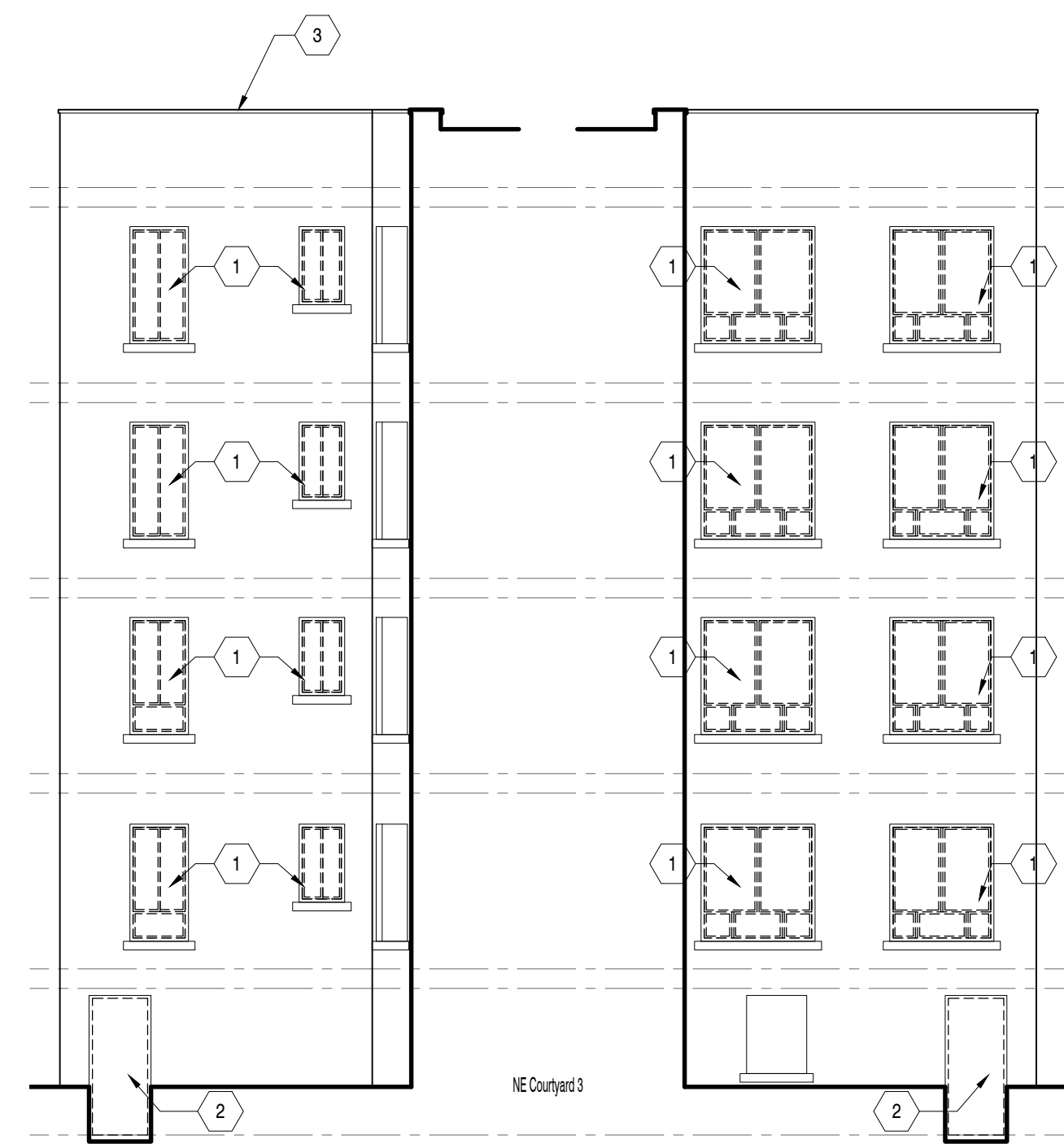
**7 NW Elevation- Stair Court**  
D2.2 Scale: 1/8" = 1'-0"



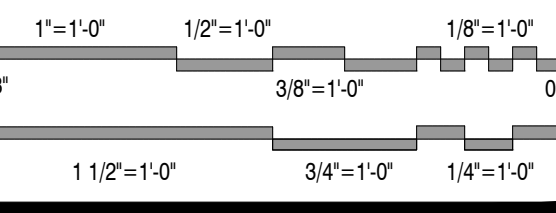
**5 NE Elevation- Courtyard 1**  
D2.2 Scale: 1/8" = 1'-0"



**3 NE Elevation- Courtyard 2**  
D2.2 Scale: 1/8" = 1'-0"



**1 NE Elevation- Courtyard 3**  
D2.2 Scale: 1/8" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids and Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title

**Overall Floor Plans:  
Floors 1, 2 - 4**

1BR/1Bath	4/floor	16
2BR/1Bath	6/floor	24
TOTAL	10/floor	40

2021-248

Project No.

JMH

Drawn By

As Noted

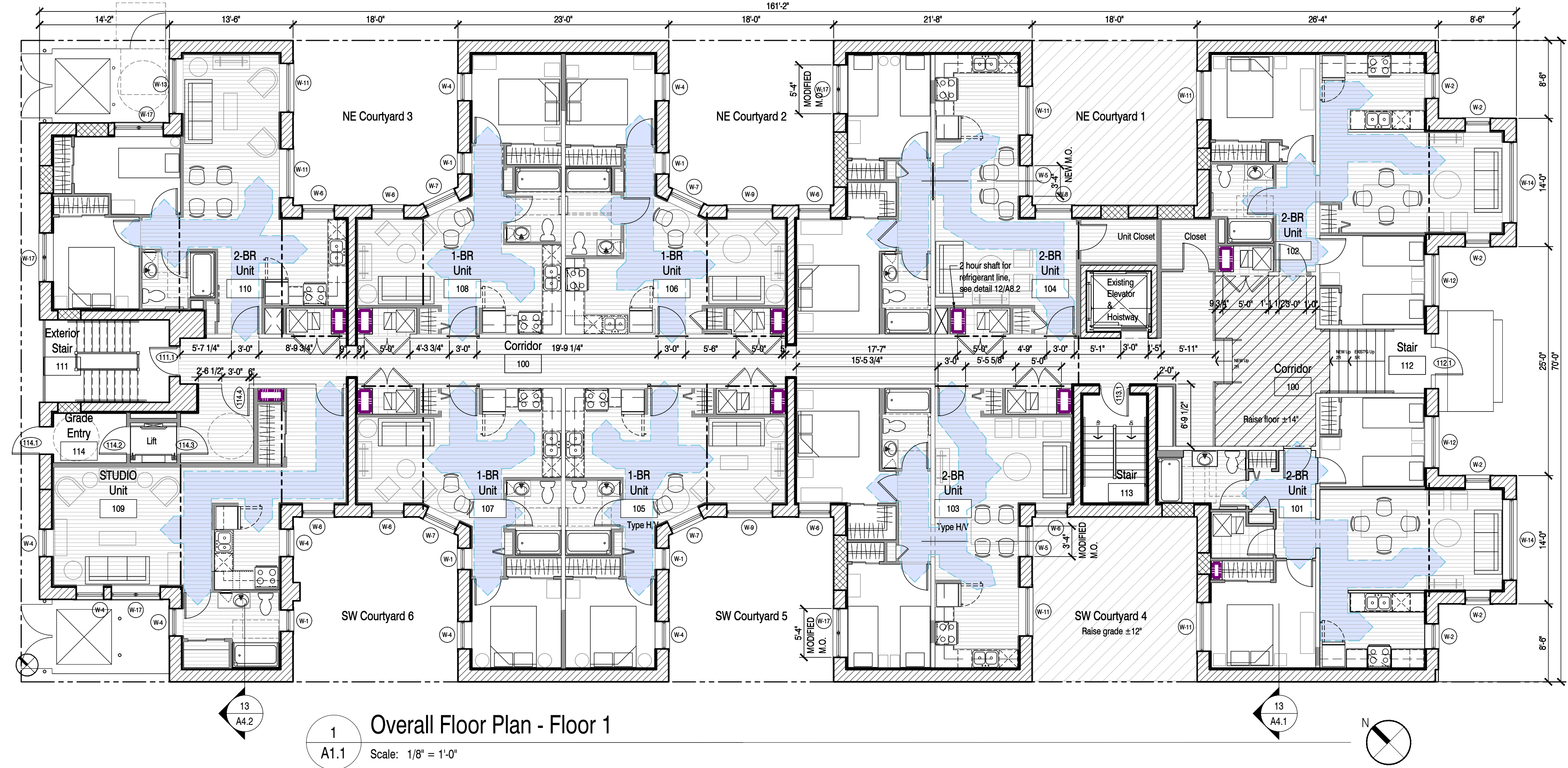
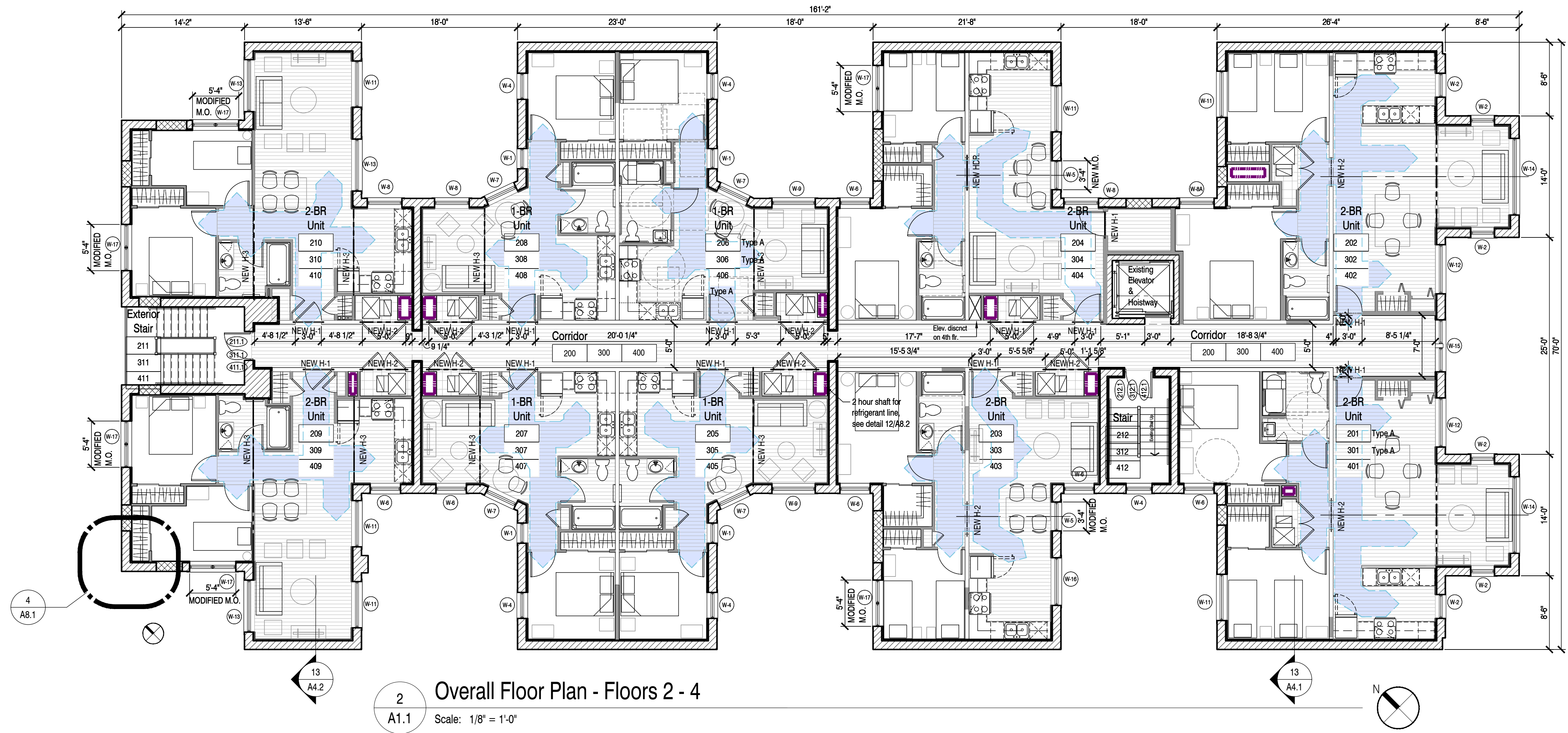
Scale

SGP

Checked By

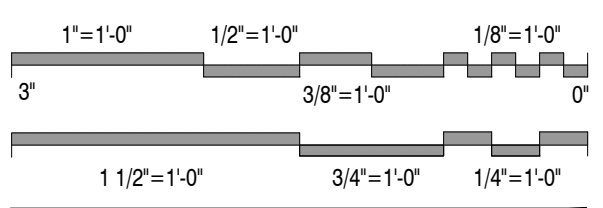
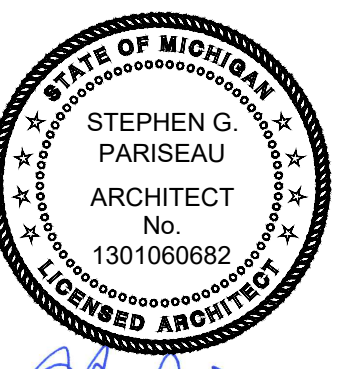
**A1.1**

Drawing No.



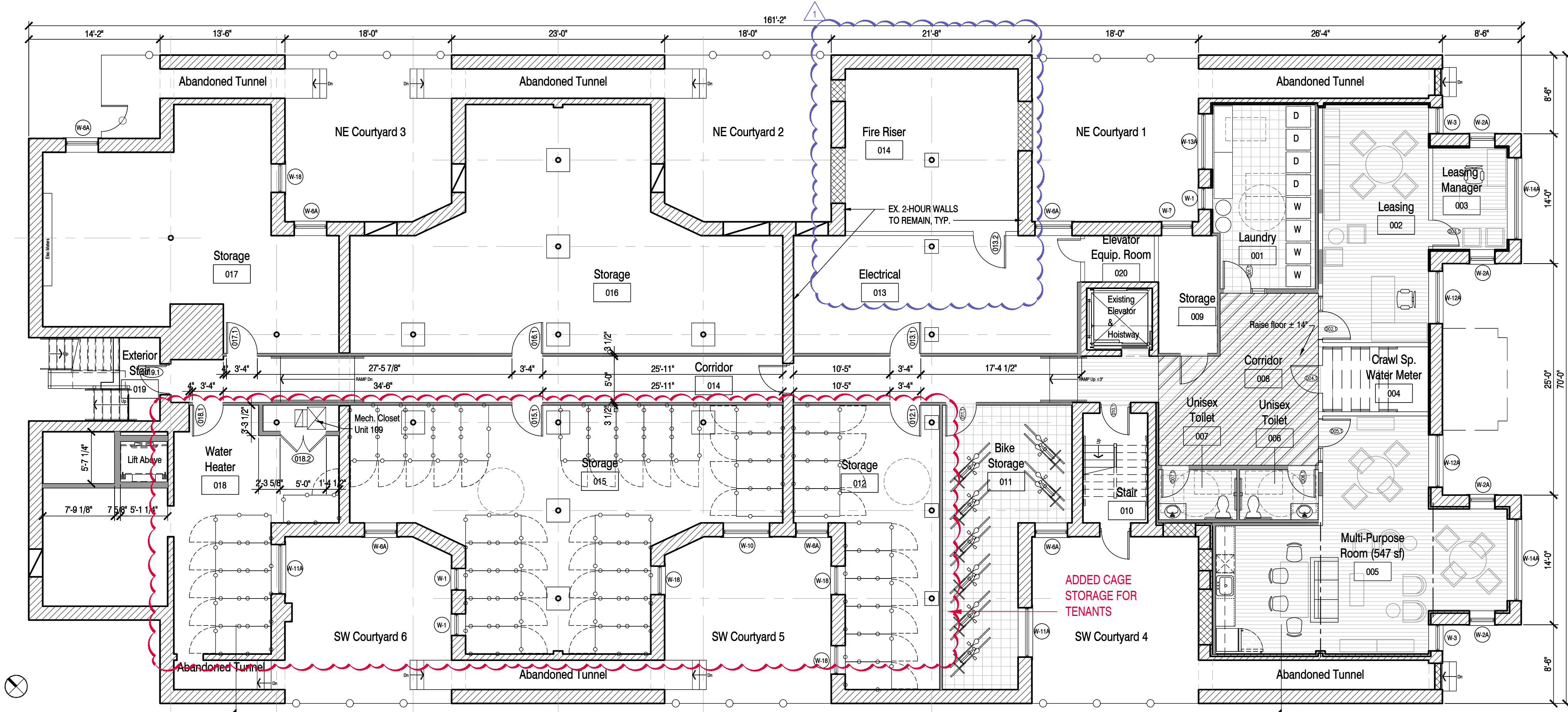
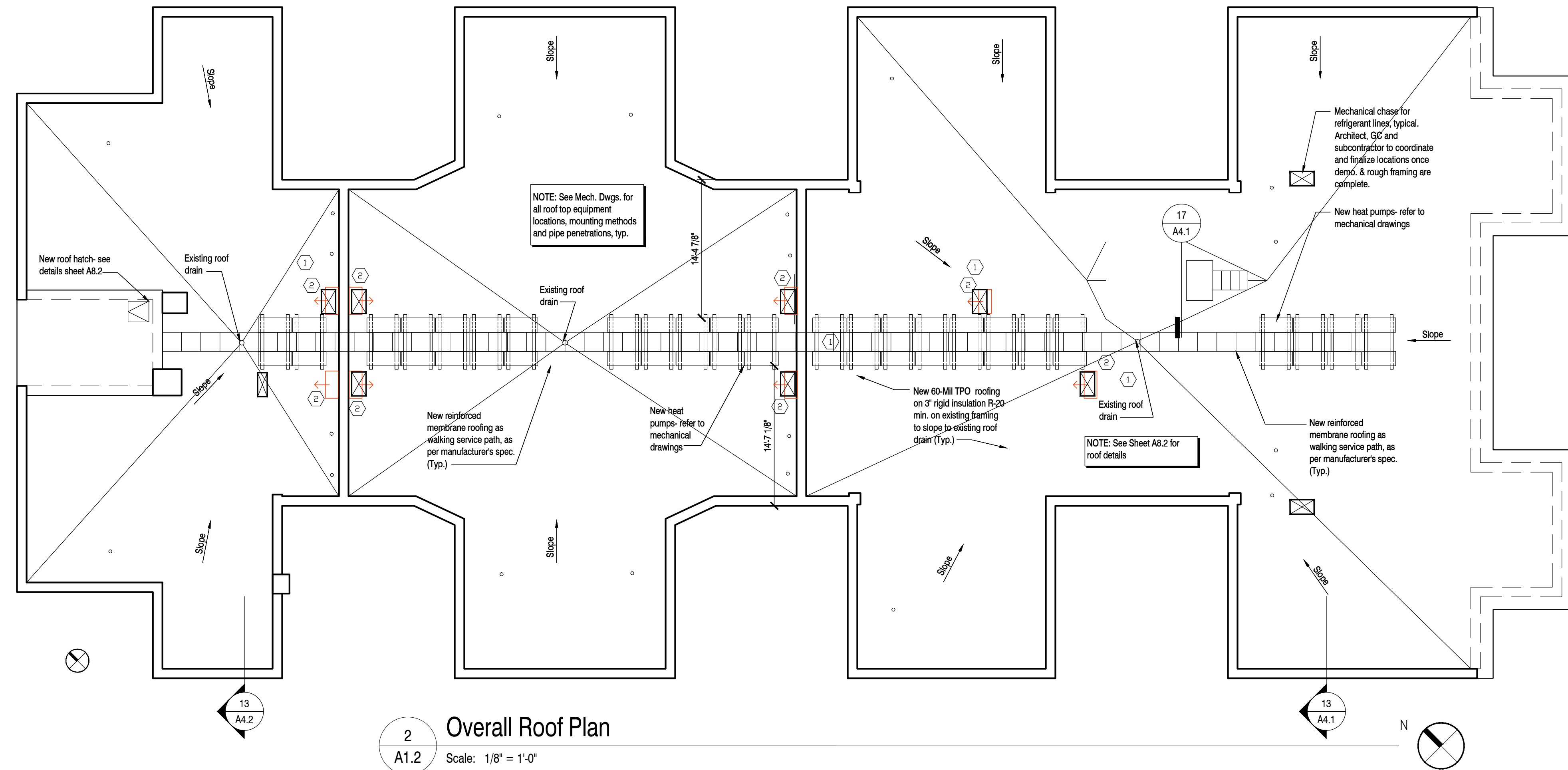
**FLOOR PLAN WALL LEGEND:**

Graphic Representation	Description
	New masonry wall
	Existing masonry wall to remain
	2x4 wood stud framing (installed on a flat), over existing masonry wall @ 16" o.c. w/5/8" gyp. bd. Provide 1/2" air space adjacent to masonry walls. Install open cell foam insulation at exterior walls.
	EXISTING partition wall to remain
	New wall. General partition walls: 2x4 wood studs @ 16" o.c. w/5/8" gyp. bd. each side. Install blown-in cellulose insulation between units and at unit bathroom walls. Stagger studs adjacent to existing wood framing of different width to provide flush transition. See Sheet TS.2 for required fire-rating.
	Indicates Accessible Route



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
Revised Bids & Permits	06.11.2025
MSHDA Revisions	04.10.2026

**Overall Floor Plans:  
Basement, Roof**



**FLOOR PLAN WALL LEGEND:**

Graphic Representation	Description
	New masonry wall
	Existing masonry wall to remain
	2x4 wood stud framing (installed on a flat), over existing masonry wall @ 16" o.c. w/5/8" gyp. bd. Provide 1/2" air space adjacent to masonry walls. Install open cell foam insulation at exterior walls.
	EXISTING partition wall to remain
	New wall. General partition walls: 2x4 wood studs @ 16" o.c. w/5/8" gyp. bd. each side. Install blown-in cellulose insulation between units and at unit bathroom walls. Stagger studs adjacent to existing wood framing of different width to provide flush transition. See Sheet TS 2 for required fire-rating.

Architect of Record



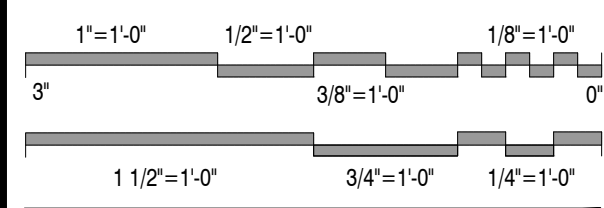
104 W. Fourth St., Suite 303  
Royal Oak, MI 48067  
248.629.7153 ph.

Owner

**DEVELOP DETROIT**  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project

**Apartment Renovation  
LINWOOD APARTMENTS**  
2295 W Grand Blvd  
Detroit, MI 48208



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title  
**Overall Framing Plan - Typical**

2021-248  
Project No.  
JMH SGP  
Drawn By Checked By  
As Noted  
Scale  
**A1.3**  
Drawing No.

**HEADER SCHEDULE:**

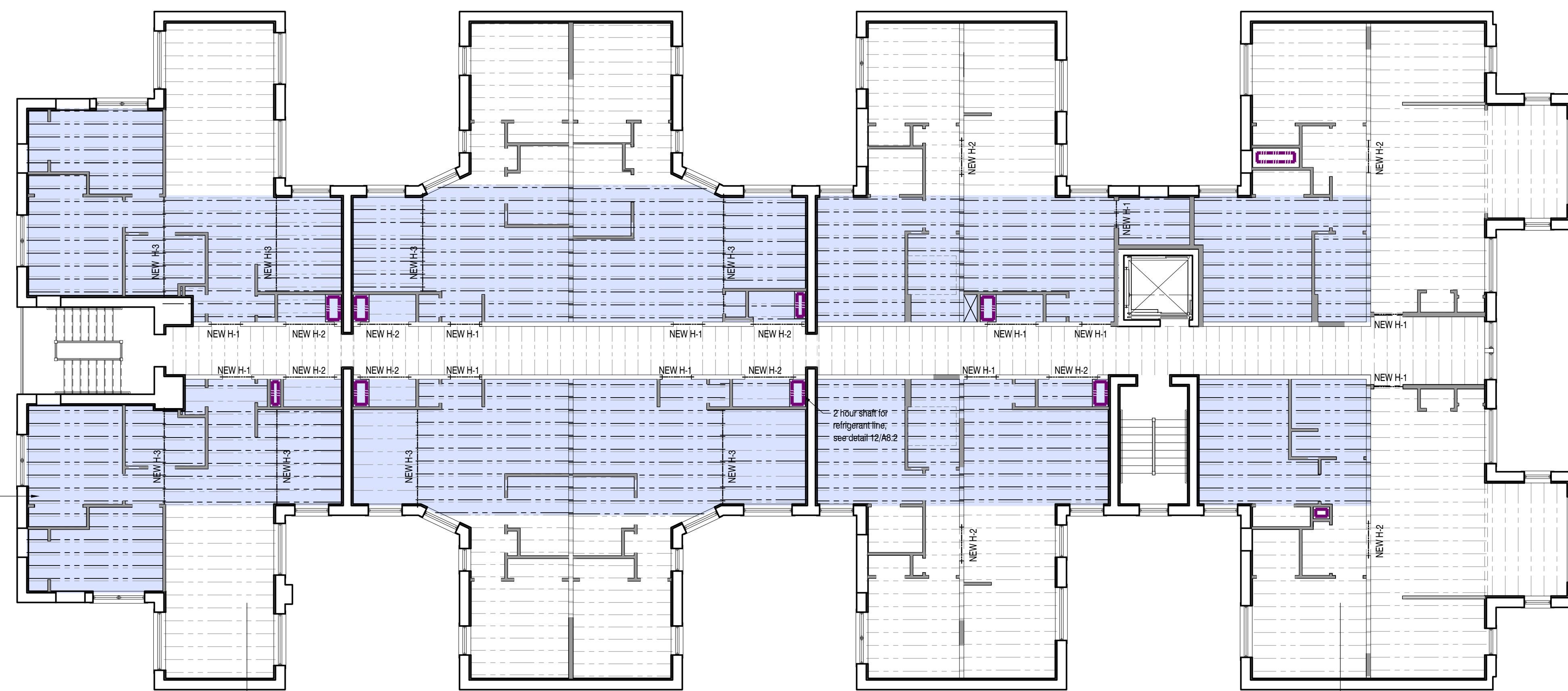
H-1	(2) 2 x 6 S.P.F.
H-2	(2) 2 X 8 S.P.F.
H-3	(3) 1 3/4" X 11 1/4" L.V.L.

**FLOOR PLAN WALL LEGEND:**

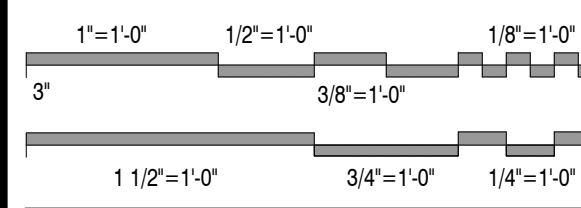
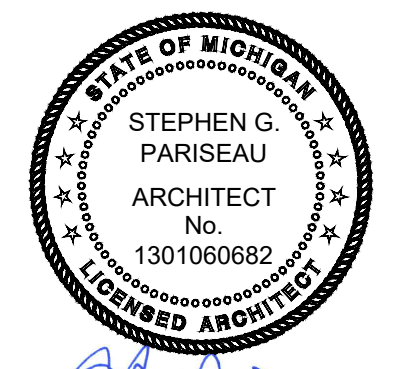
Graphic Representation	Description
	New masonry wall
	Existing masonry wall to remain
	2x4 wood stud framing (installed on a flat, over existing masonry wall @ 16" o.c. w/5/8" gyp. bd. Provide 1/2" air space adjacent to masonry walls. Install open cell foam insulation at exterior walls.
	EXISTING partition wall to remain
	New wall. General partition walls: 2x4 wood studs @ 16" o.c. w/5/8" gyp. bd. each side. Install blown-in cellulose insulation between units and at unit bathroom walls. Stagger studs adjacent to existing wood framing of different width to provide flush transition. See Sheet TS.2 for required fire-rating.

**NOTE:**  
1. Contactor to verify in field locations where joists need to be reinforced.  
2. Reinforcement is recommended as follows:  
2.1. Sister existing joists with 2x10s in areas indicated in plans.

SHADED AREAS INDICATES AREA OF FRAMING REINFORCEMENT



**1 Overall Floor Framing Plan - Typical**  
Scale: 1/8" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title  
**Enlarged Floor Plans  
& Floor Finish Plans**

2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

SGP  
Checked By

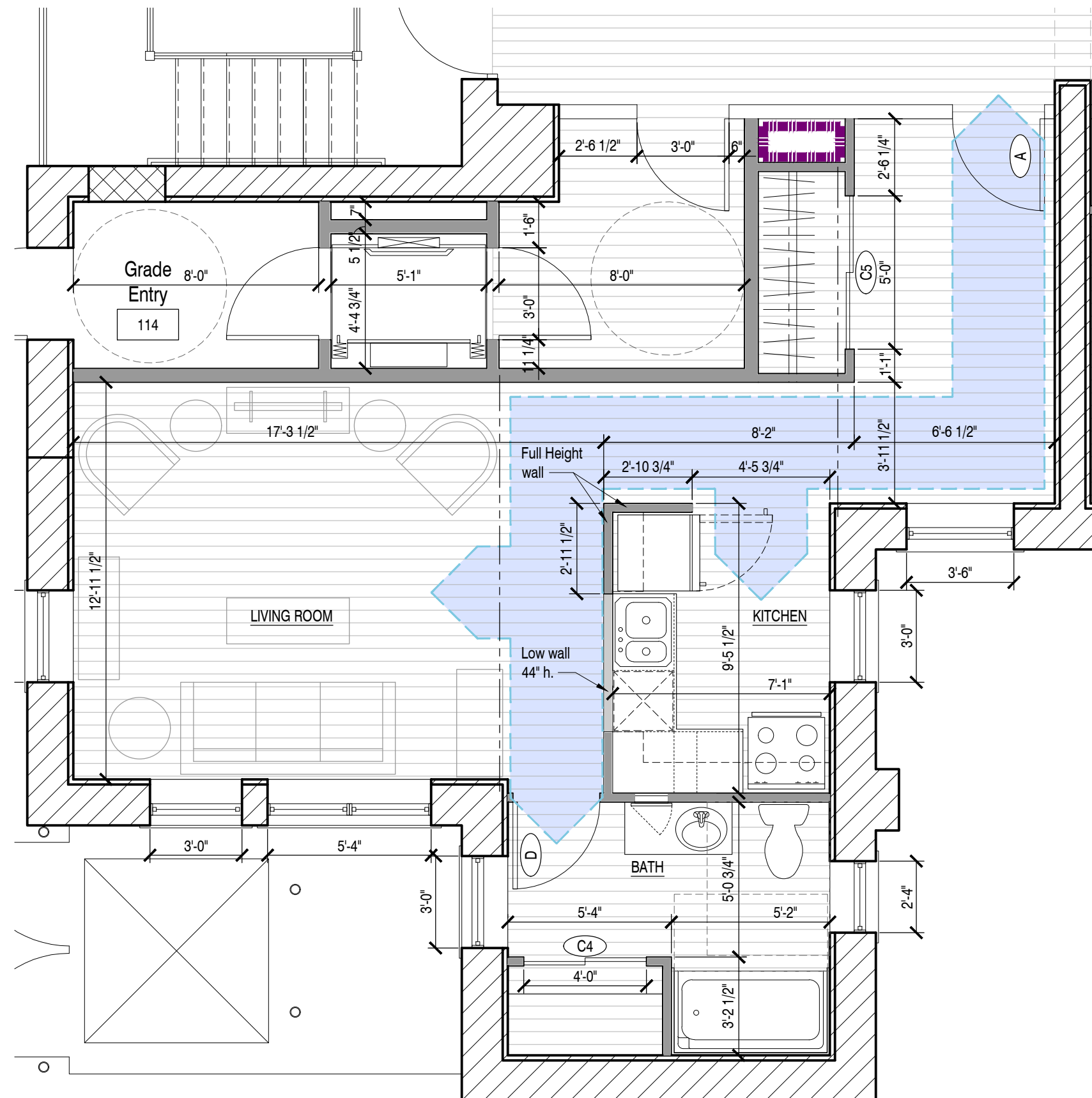
**A2.1**  
Drawing No.

**FINISH NOTES:**

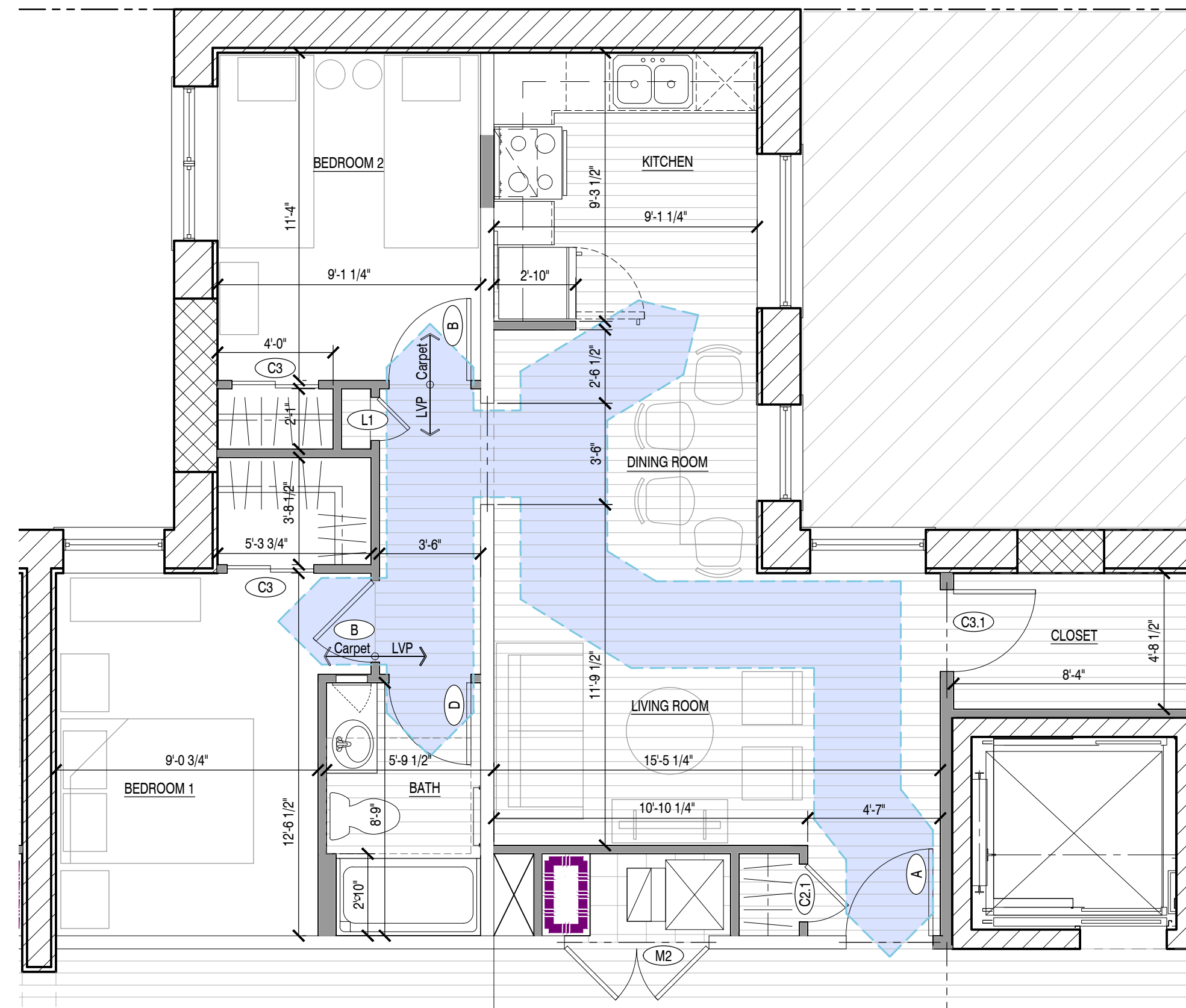
1. Construction manager/contractor shall confirm all materials/finishes with Owner & Architect prior to purchase.
2. Prepare flooring substrate to receive new flooring material per Manufacturer's instruction.
3. Perform moisture condition tests and bond tests to ensure proper adherence of flooring material.
4. Transition/reducer strips shall be used at material height differences and dissimilar materials.
5. Terminate flooring material at center of door stop where adjacent floor finish or color is dissimilar.
6. Submit paint samples for Architect's approval prior to application.
7. Typical conditions have been indicated on drawings but do not express all conditions. The indication of painting does not preclude painting on other areas not indicated on drawings.

**FLOOR FINISH LEGEND:**

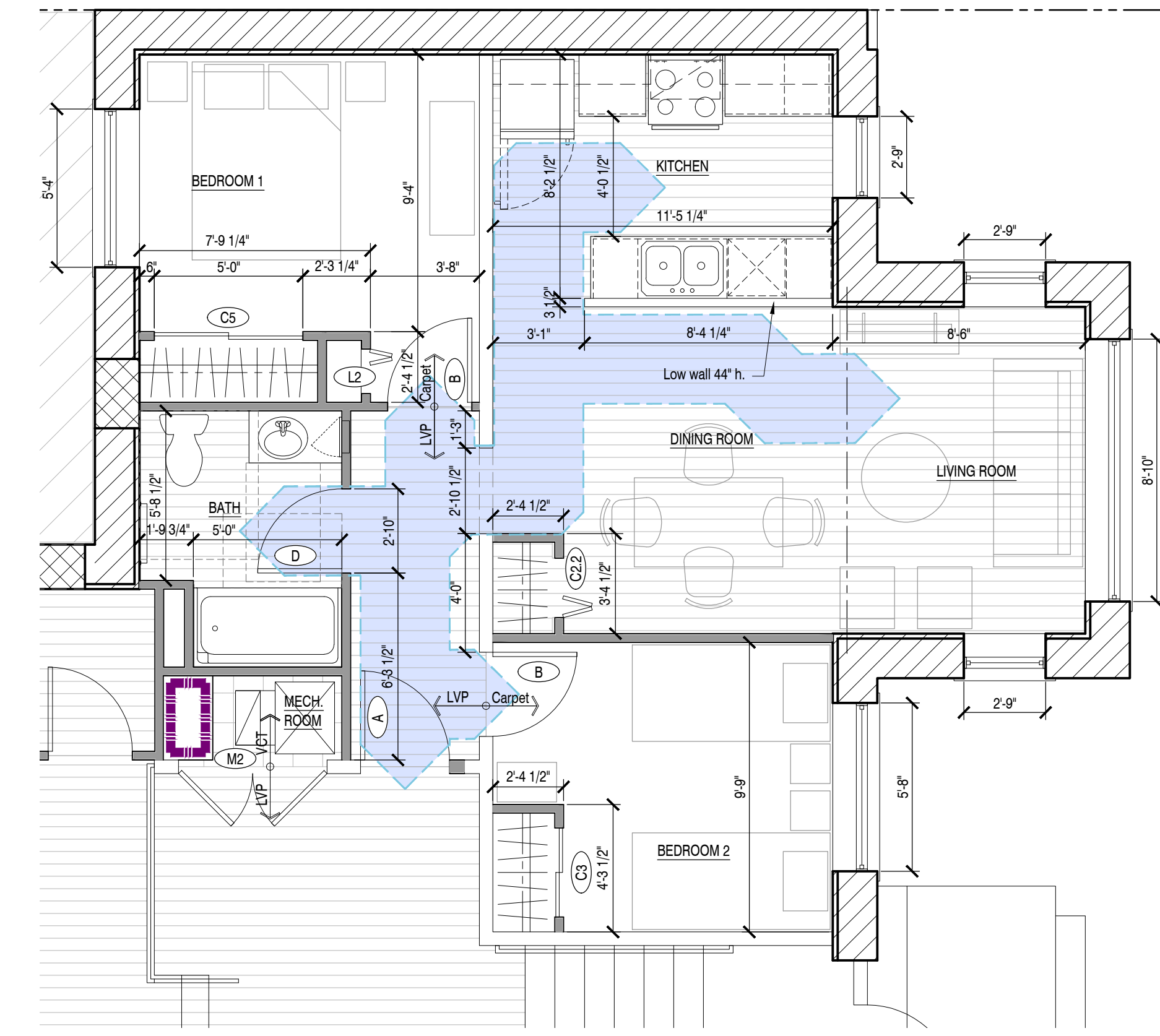
- (VP-1) New Luxury Vinyl Plank (LVP)
- (VT-1) New Vinyl Composite Tile (VCT)
- (C-1) New Carpet
- (SC) Sealed Concrete
- (M-1) Existing Marble to be refinished



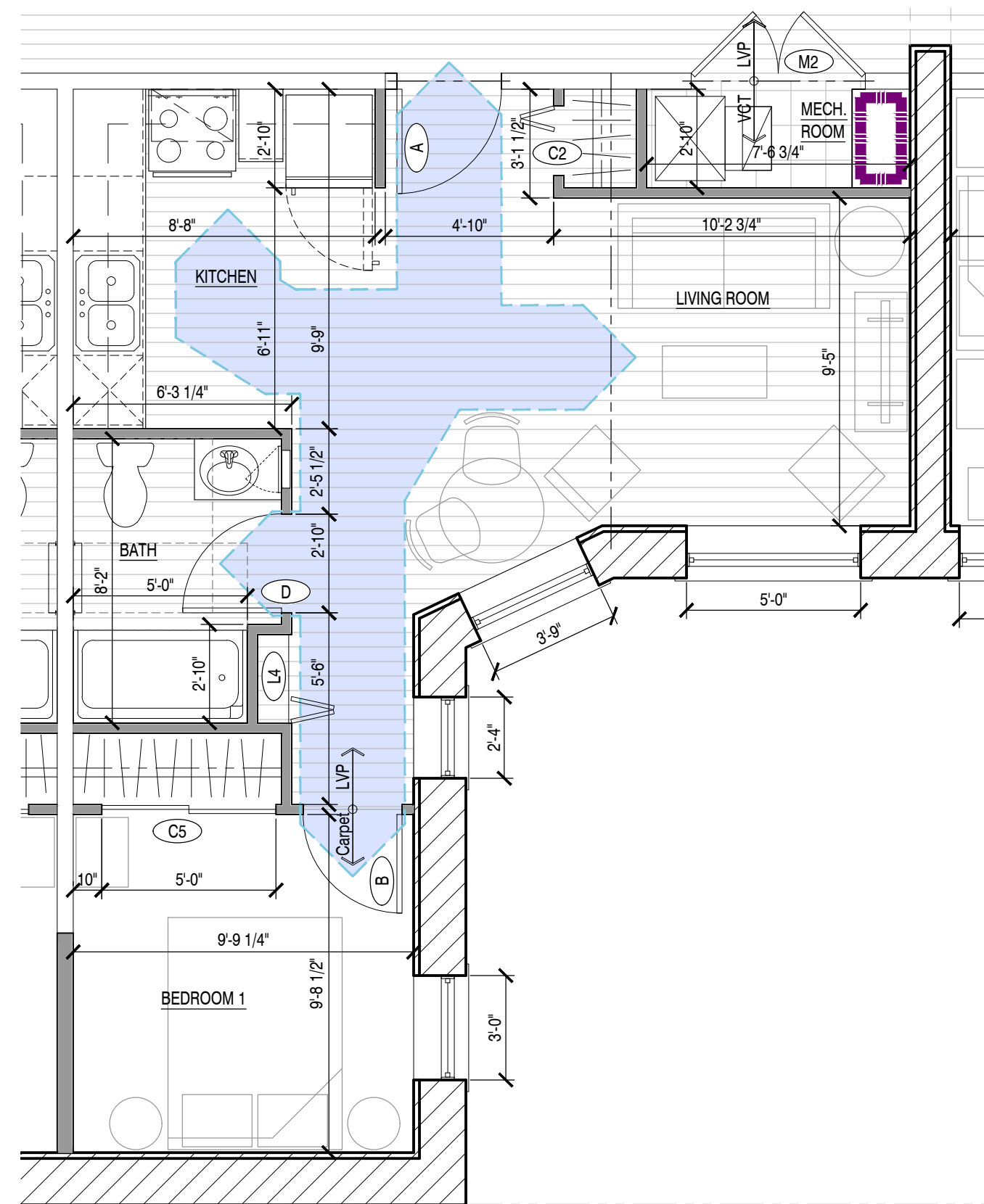
**6 Enlarged Floor Plan- Unit 109**  
A2.1 Scale: 1/4" = 1'-0"



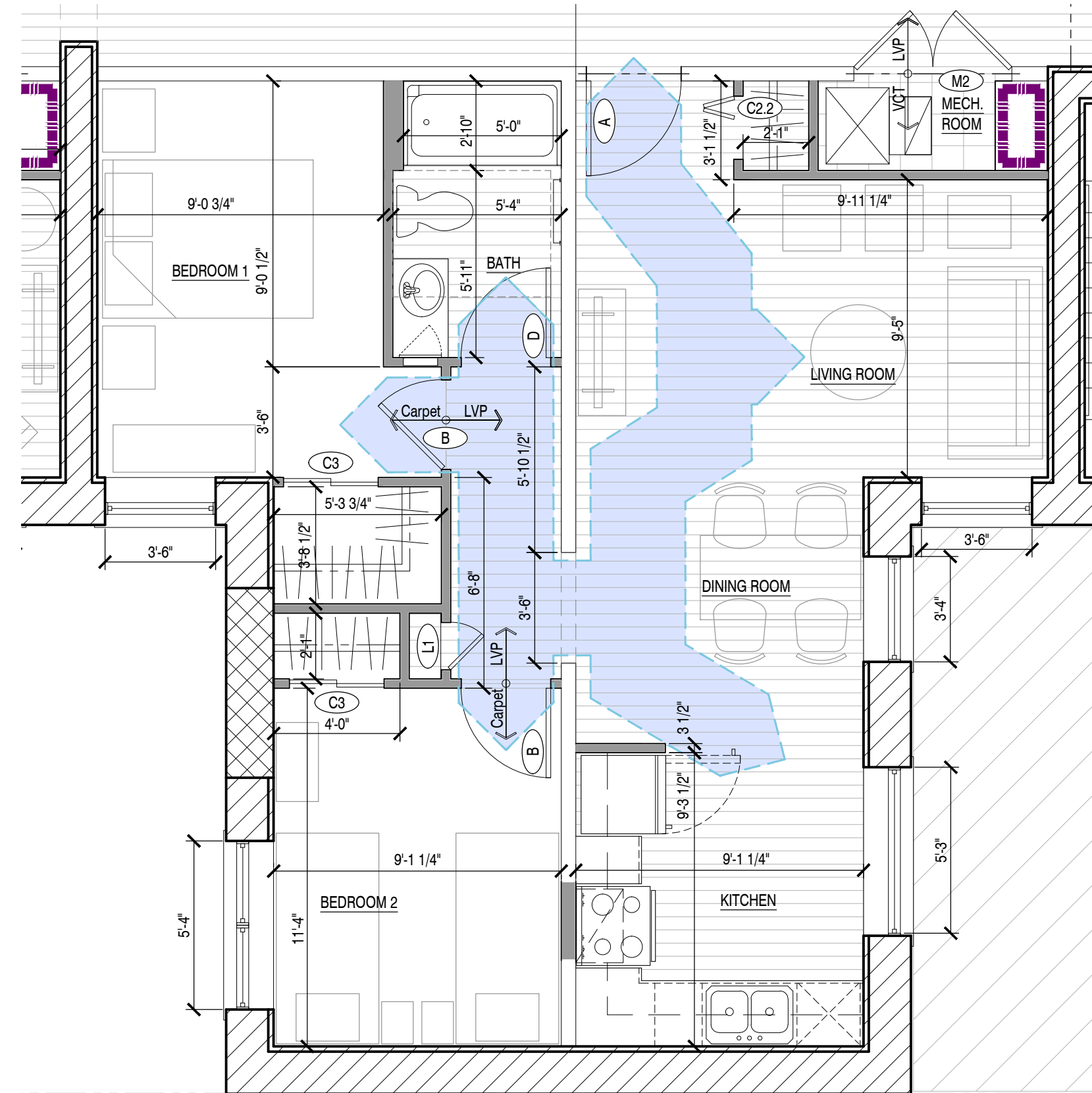
**4 Enlarged Floor Plan- Units 104-404**  
A2.1 Scale: 1/4" = 1'-0"



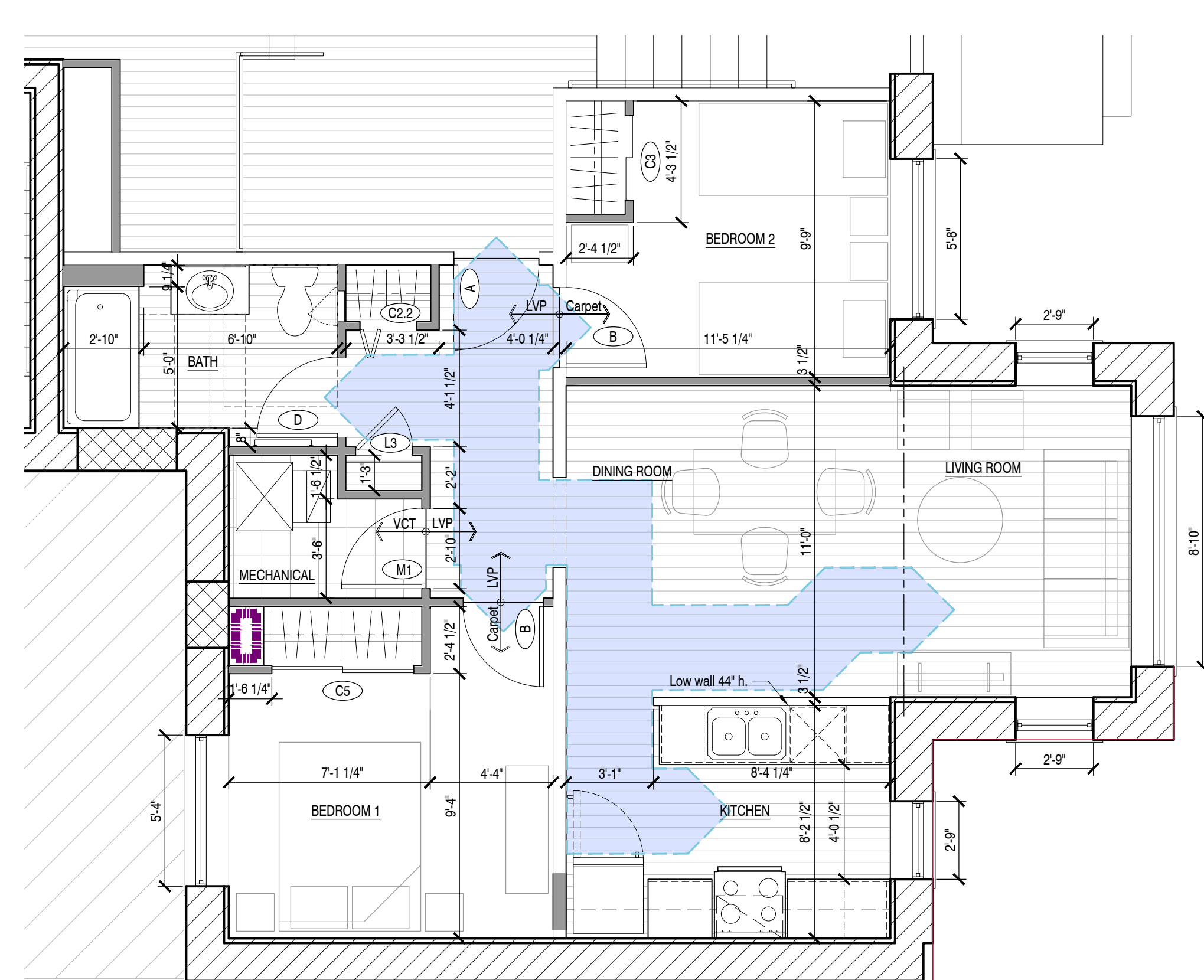
**2 Enlarged Floor Plan- Unit 102**  
A2.1 Scale: 1/4" = 1'-0"



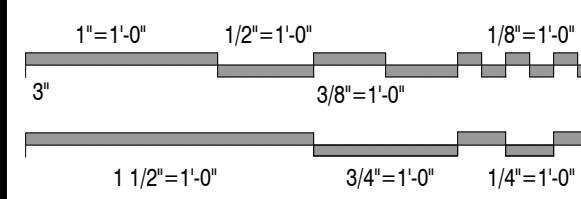
**5 Enlarged Floor Plan- Units 105-405, 107-407 mirrored  
Units 108-408**  
A2.1 Scale: 1/4" = 1'-0"



**3 Enlarged Floor Plan- Units 103-203 Type H/V,  
Units 303-403**  
A2.1 Scale: 1/4" = 1'-0"



**1 Enlarged Floor Plan- Unit 101**  
A2.1 Scale: 1/4" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title  
**Enlarged Floor Plans  
& Floor Finish Plans**

2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

SGP  
Checked By

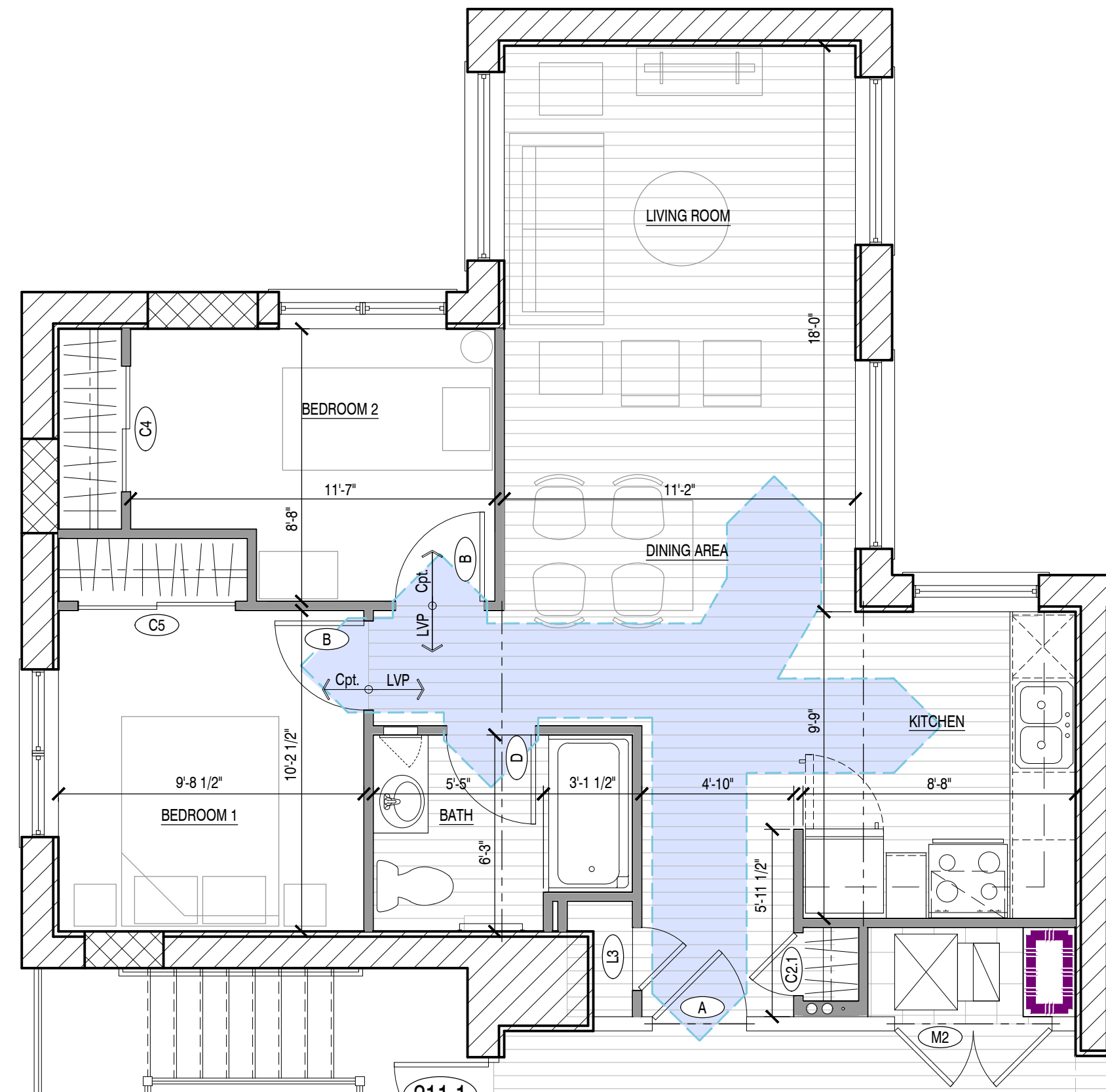
**A2.2**  
Drawing No.

**FINISH NOTES:**

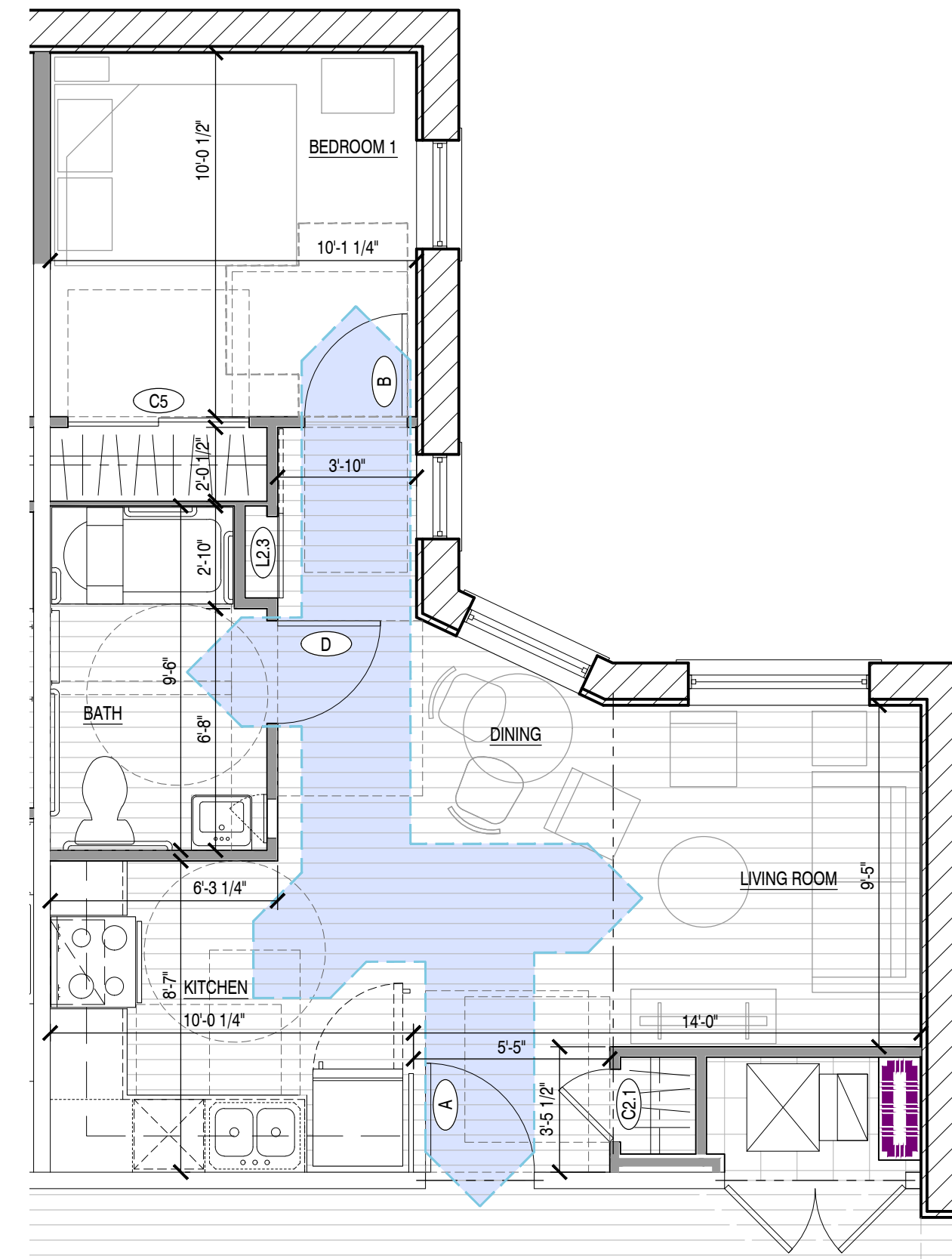
- Construction manager/contractor shall confirm all materials/finishes with Owner & Architect prior to purchase.
- Prepare flooring substrate to receive new flooring material per Manufacturer's instruction.
- Perform moisture condition tests and bond tests to ensure proper adherence of flooring material.
- Transition/reducer strips shall be used at material height differences and dissimilar materials.
- Terminate flooring material at center of door stop where adjacent floor finish or color is dissimilar.
- Submit paint samples for Architect's approval prior to application.
- Typical conditions have been indicated on drawings but do not express all conditions. The indication of painting does not preclude painting on other areas not indicated on drawings.

**FLOOR FINISH LEGEND:**

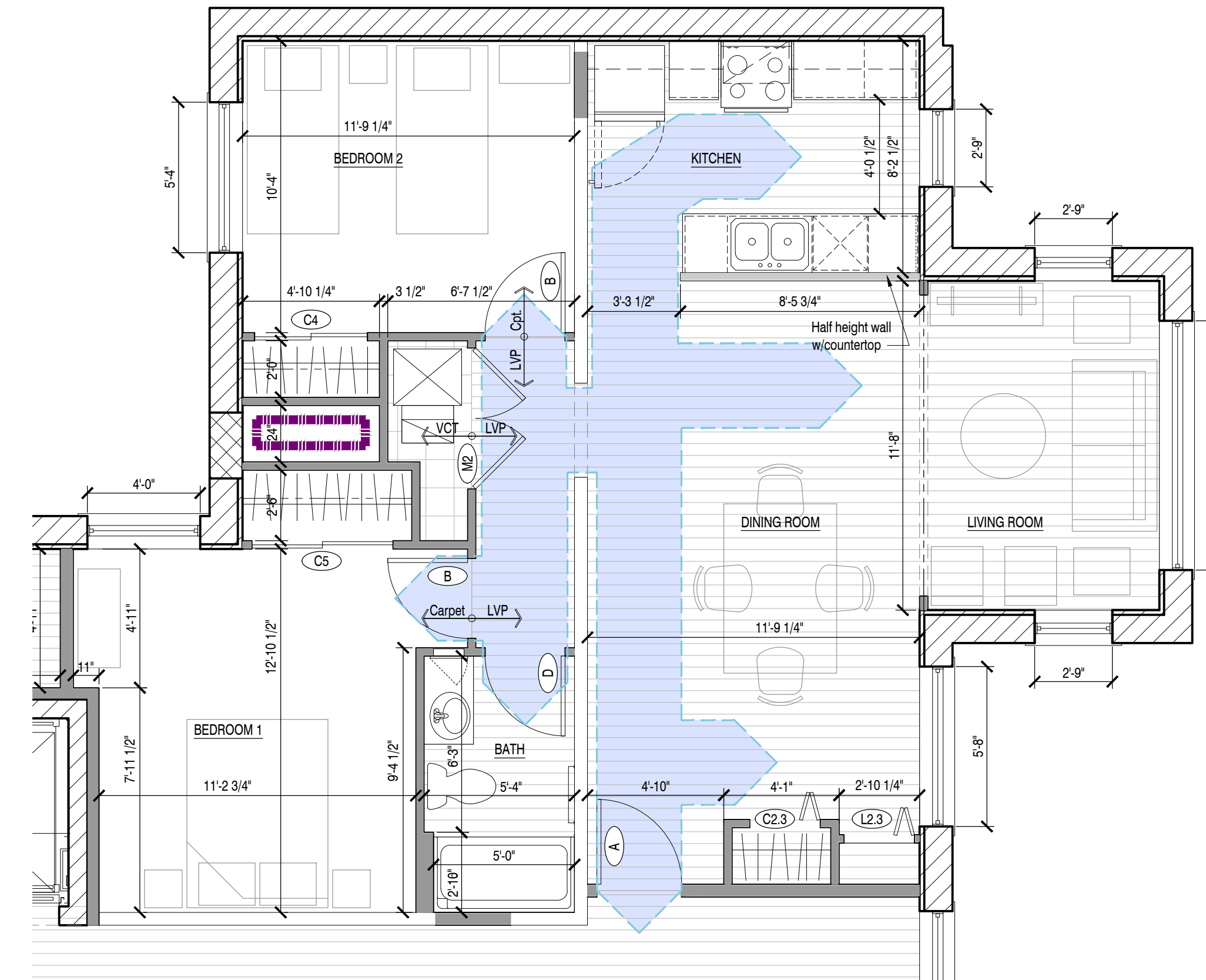
- (VP-1) New Luxury Vinyl Plank (LVP)
- (VT-1) New Vinyl Composite Tile (VCT)
- (C-1) New Carpet
- (SC-1) Sealed Concrete
- (M-1) Existing Marble to be refinished



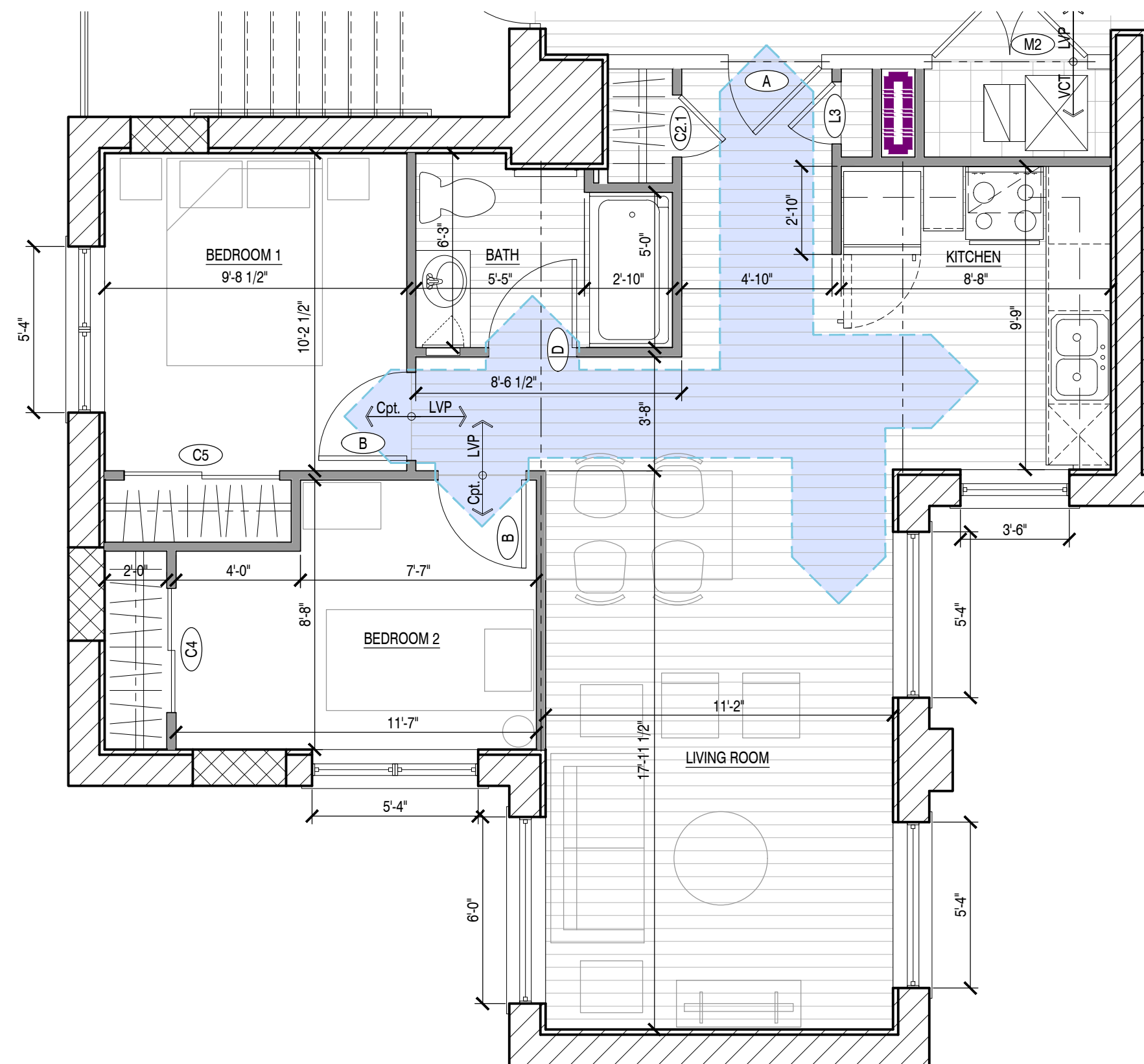
12 Enlarged Floor Plan- Units 110-410  
A2.2 Scale: 1/4" = 1'-0"



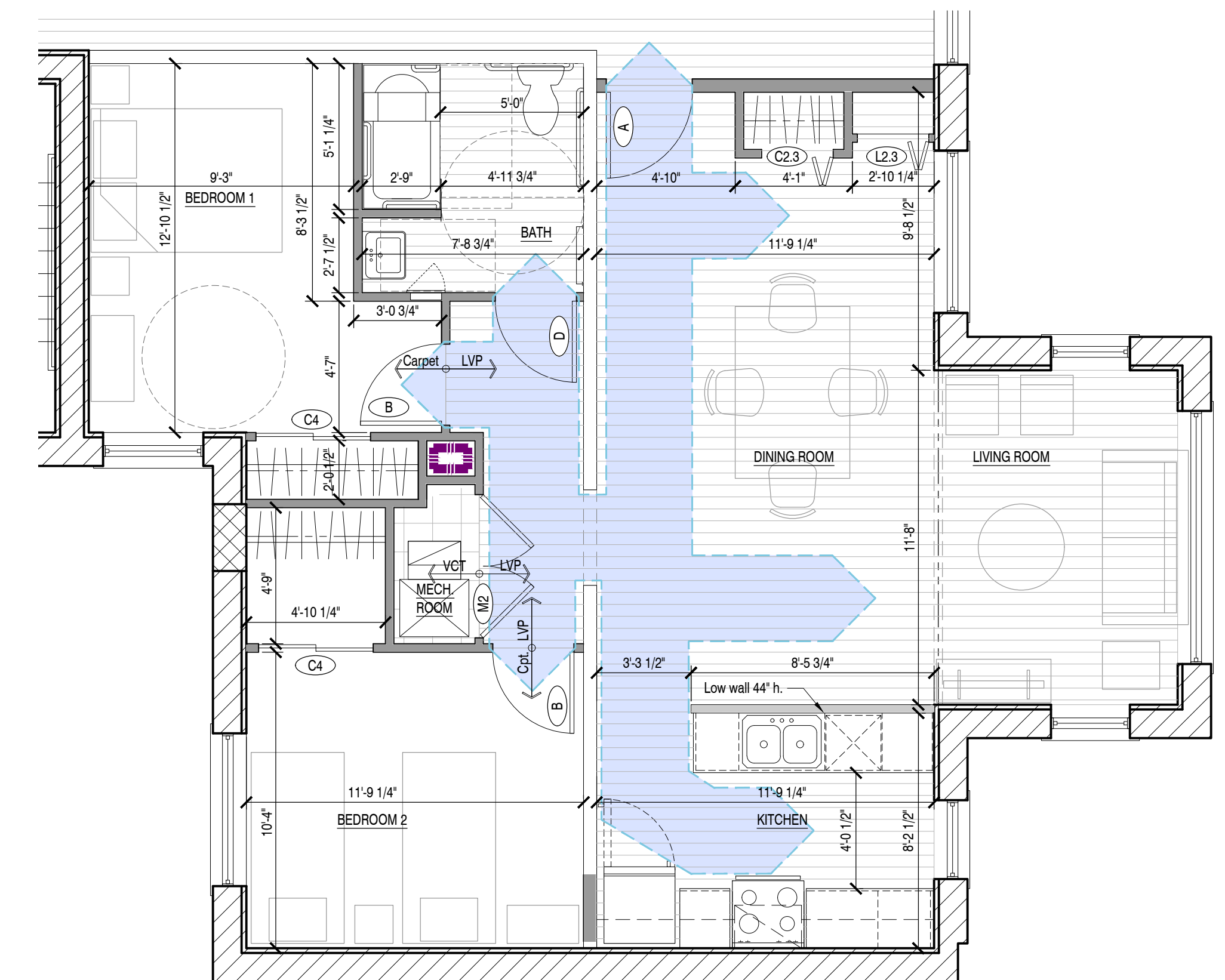
10 Enlarged Floor Plan- Units 106-206 TYPE A, 306-406  
A2.2 Scale: 1/4" = 1'-0"



8 Enlarged Floor Plan- Units 202-402  
A2.2 Scale: 1/4" = 1'-0"



9 Enlarged Floor Plan- Units 209-409  
A2.2 Scale: 1/4" = 1'-0"



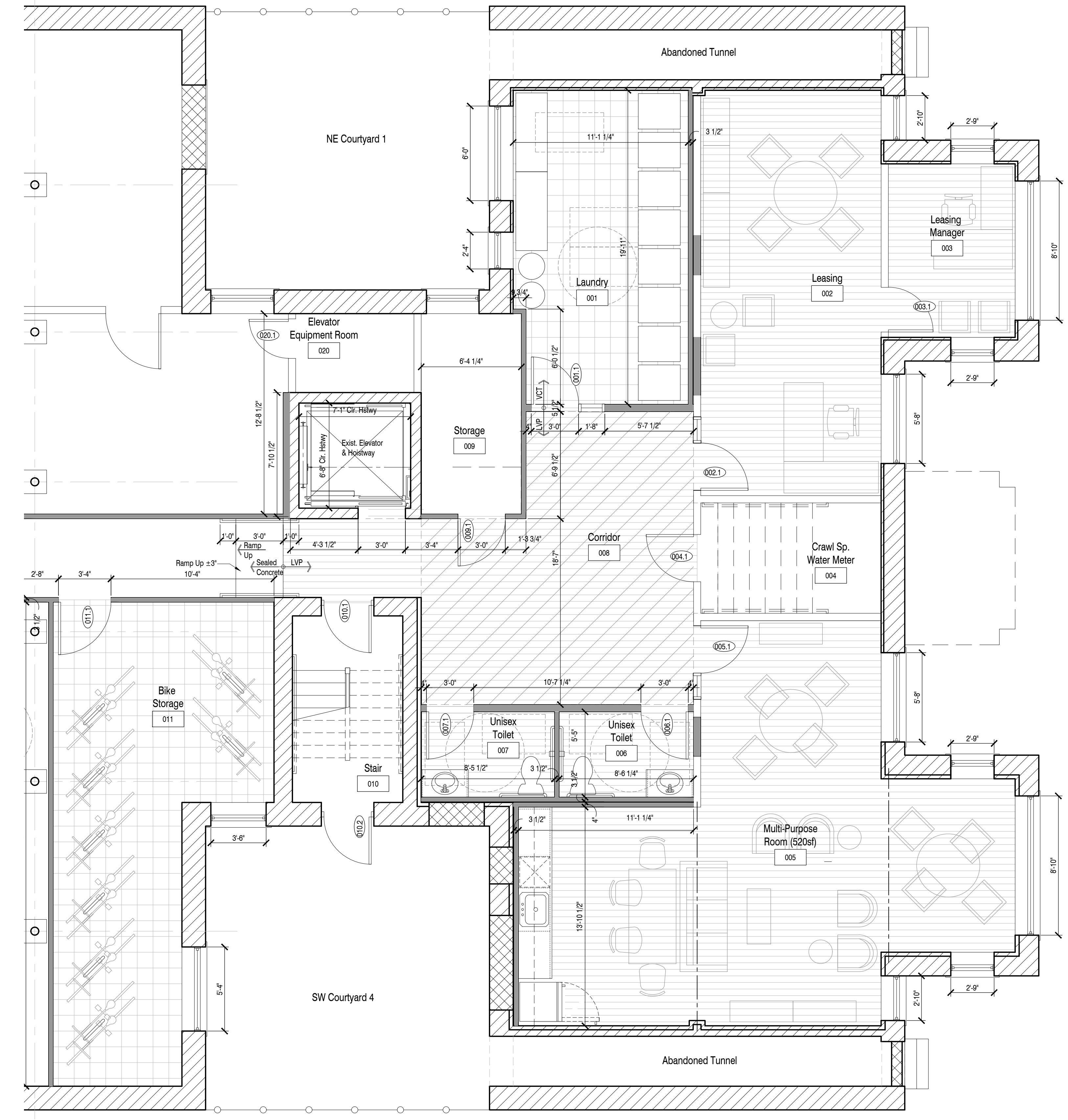
7 Enlarged Floor Plan- Units 201-301 TYPE A, Unit 401  
A2.2 Scale: 1/4" = 1'-0"

**FINISH NOTES:**

1. Construction manager/contractor shall confirm all materials/finishes with Owner & Architect prior to purchase.
2. Prepare flooring substrate to receive new flooring material per Manufacturer's instruction.
3. Perform moisture condition tests and bond tests to ensure proper adherence of flooring material.
4. Transition/reducer strips shall be used at material height differences and dissimilar materials.
5. Terminate flooring material at center of door stop where adjacent floor finish or color is dissimilar.
6. Submit paint samples for Architect's approval prior to application.
7. Typical conditions have been indicated on drawings but do not express all conditions. The indication of painting does not preclude painting on other areas not indicated on drawings.

**FLOOR FINISH LEGEND:**

- (LP-1) New Luxury Vinyl Plank (LVP)
- (VT-1) New Vinyl Composite Tile (VCT)
- (C-1) New Carpet
- (SC-1) Sealed Concrete
- (M-1) Existing Marble to be refinished



Architect of Record



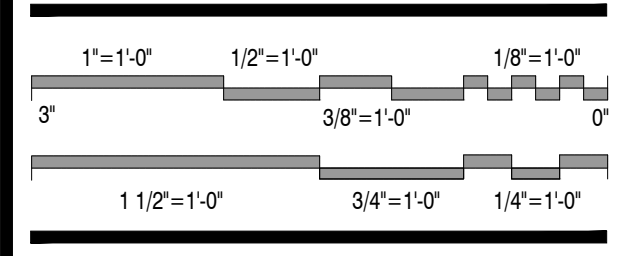
104 W. Fourth St., Suite 303  
Royal Oak, MI 48067  
248.629.7153 ph.

Owner

**DEVELOP DETROIT**  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project

**Apartment Renovation  
LINWOOD APARTMENTS**  
2295 W Grand Blvd  
Detroit, MI 48208



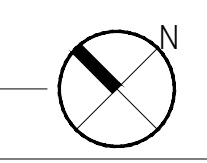
Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title  
**Enlarged Floor Plans  
& Floor Finish Plans**

2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

SGP  
Checked By

**A2.3**  
Drawing No.



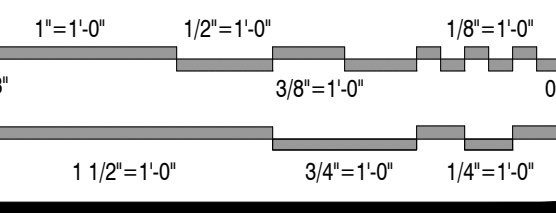


*Stephen G. Pariseau*

104 W. Fourth St., Suite 303  
Royal Oak, MI 48067  
248.629.7153 ph.

**DEVELOP DETROIT**  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

**Apartment Renovation**  
**LINWOOD APARTMENTS**  
2295 W Grand Blvd  
Detroit, MI 48208

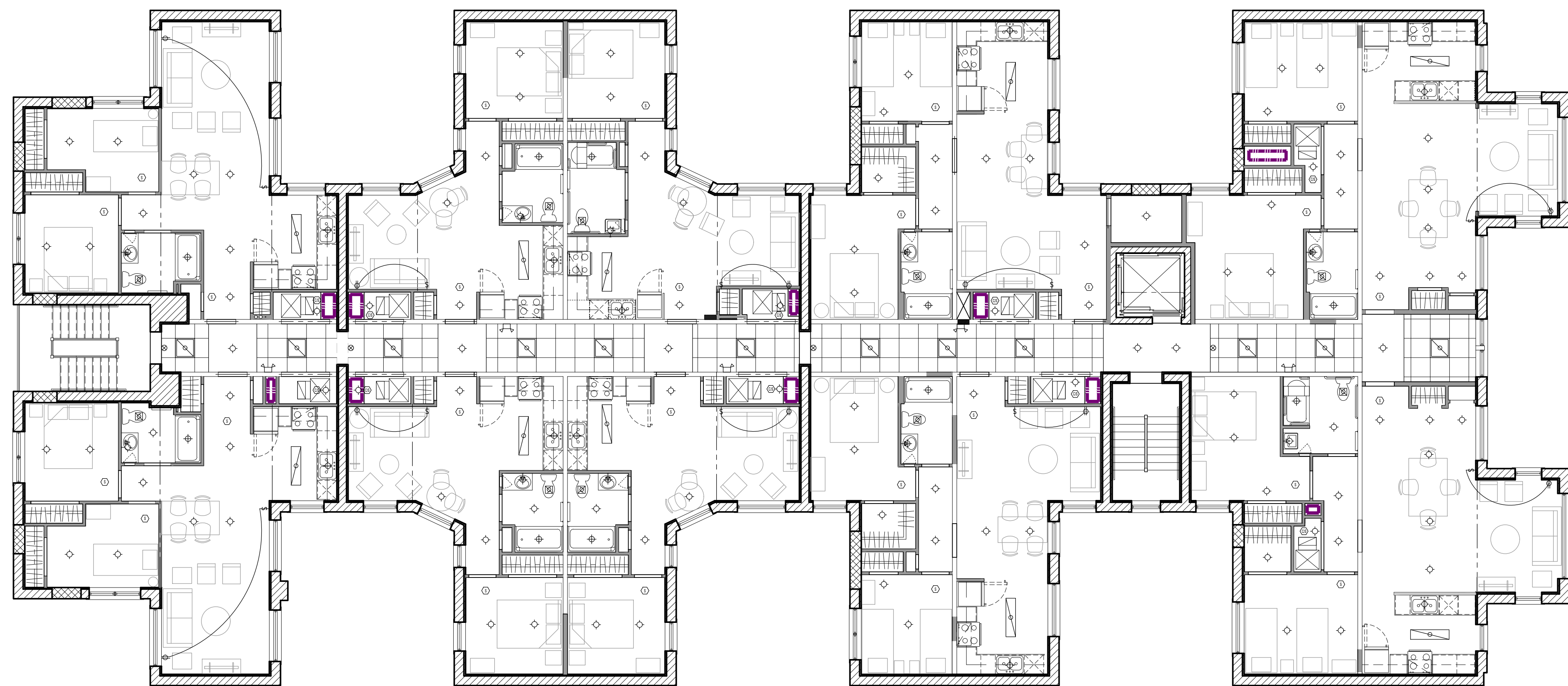


Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

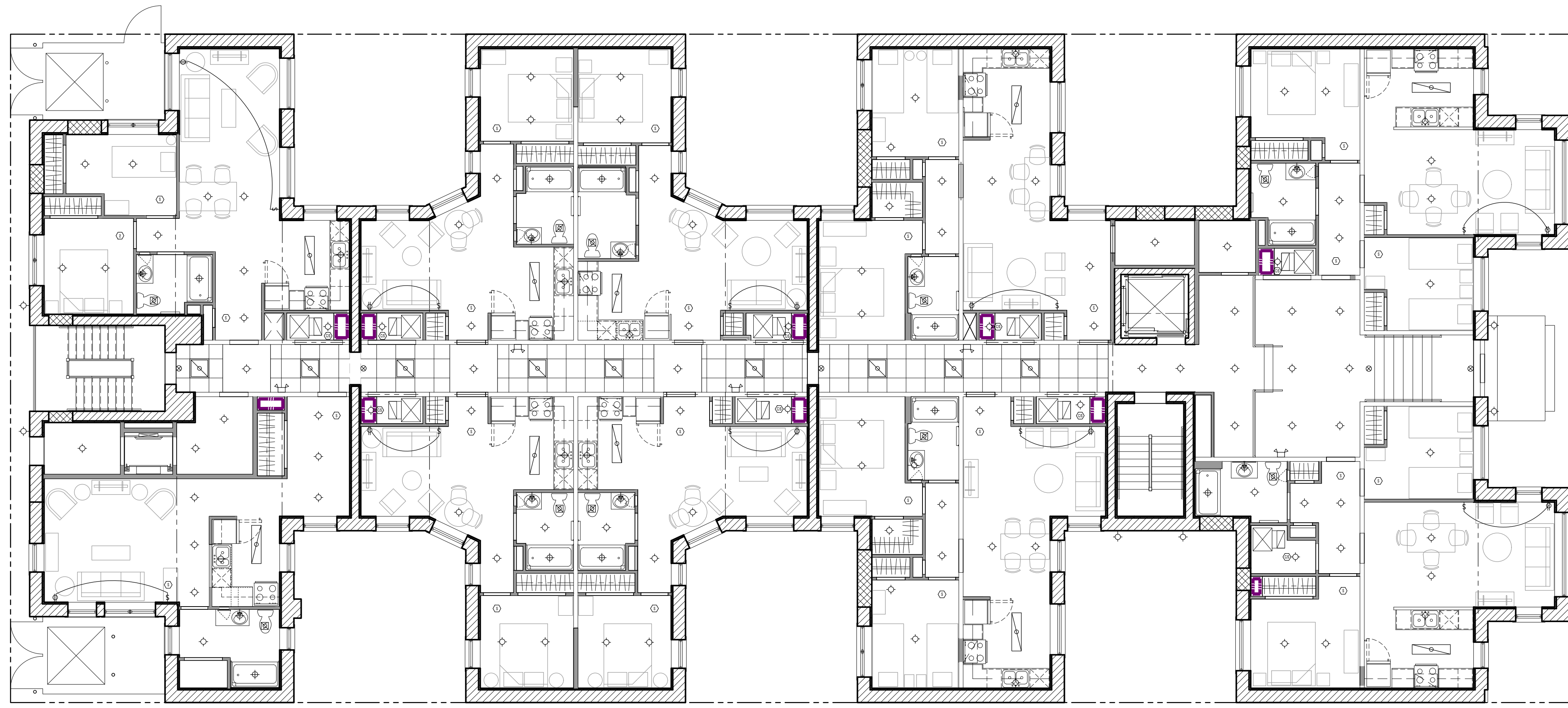
**Overall Reflected Ceiling Plans- Floors 1, 2 - 4**

2021-248  
Project No. \_\_\_\_\_  
JMH \_\_\_\_\_ SGP \_\_\_\_\_  
Drawn By \_\_\_\_\_ Checked By \_\_\_\_\_  
As Noted \_\_\_\_\_  
Scale \_\_\_\_\_

**A3.1**  
Drawing No.



**2** Overall Reflected Ceiling Plan - Floors 2 - 4  
A6.1 Scale: 1/8" = 1'-0"



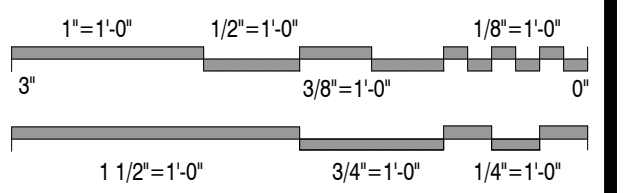
**1** Overall Reflected Ceiling Plan - Floor 1  
A6.1 Scale: 1/8" = 1'-0"

**REFLECTED CEILING PLAN LEGEND:**

	Wall Mounted Light Fixture		Outlet
	Surface Mounted Light Fixture		Wall Switch
	Recessed Light Fixture- Wet Location		2x4 Fluorescent Light Fixture
	Exhaust Fan		1x4 Fluorescent Light Fixture
	Emergency Light		2x2 Fluorescent Light Fixture
	Exit Light		0'-0" Ceiling Height
	Carbon Monoxide/Smoke Detector		2'-0" x 2'-0" Acoustic Ceiling Grid
	Smoke Detector		Gyp. bd. soffit



*Stephen G. Pariseau*



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

Drawing Title  
**Overall Reflected Ceiling  
Plans- Basement**

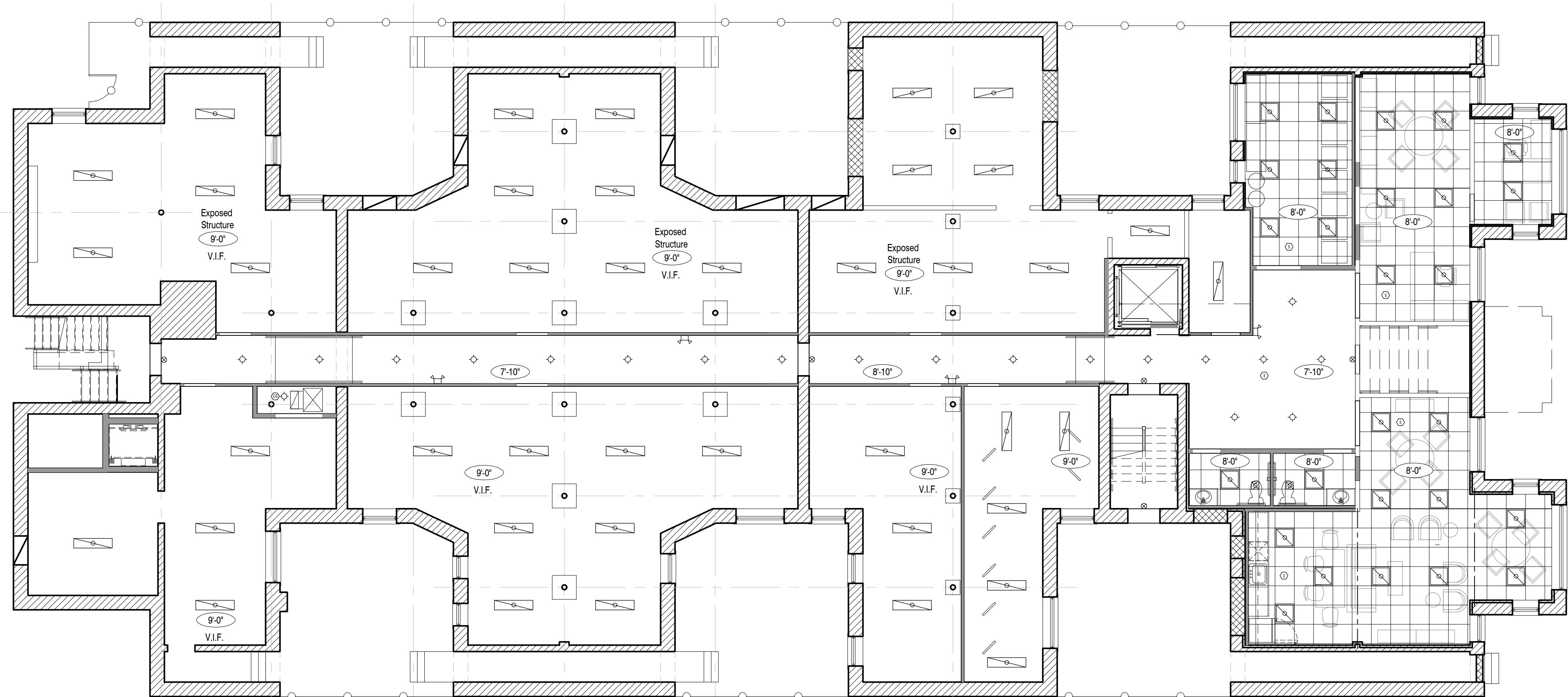
2021-248  
Project No.  
JM H  
Drawn By  
As Noted  
Scale

SGP  
Checked By

**A3.2**  
Drawing No.

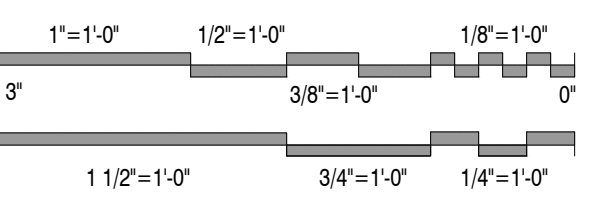
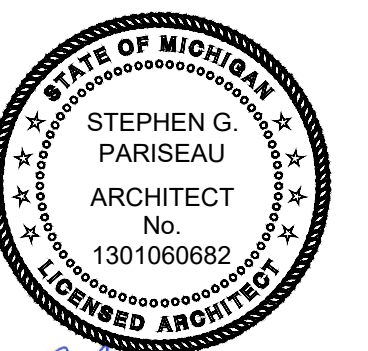
**REFLECTED CEILING PLAN LEGEND:**

	Wall Mounted Light Fixture		Outlet
	Surface Mounted Light Fixture		Wall Switch
	Recessed Light Fixture- Wet Location		2x4 Fluorescent Light Fixture
	Exhaust Fan		1x4 Fluorescent Light Fixture
	Emergency Light		2x2 Fluorescent Light Fixture
	Exit Light		Ceiling Height
	Carbon Monoxide/Smoke Detector		2'-0" x 2'-0" Acoustic Ceiling Grid
	Smoke Detector		Gyp. bd. soffit



**1 Overall Reflected Ceiling Plan - Basement**  
Scale: 1/8" = 1'-0"





Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Building Sections**

2021-248  
Project No. JMH  
Drawn By As Noted  
Scale  
SGP  
Checked By

**A4.1**  
Drawing No.

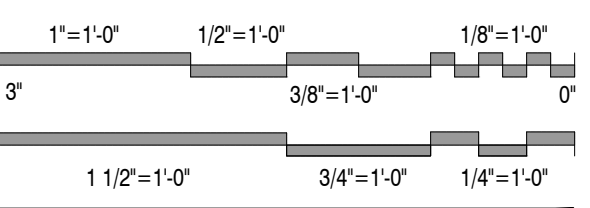
**BUILDING SECTION NOTES:**

**NOTES:**

1. Sister new joist to every joist or every other joist. If site conditions vary from what is shown add additional support.
2. Verify all bearing conditions.
3. Reinforce bearing walls as required.



13 East West Building Section @ Front  
A4.1 Scale: 1/4" = 1'-0"



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Building Sections**

2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

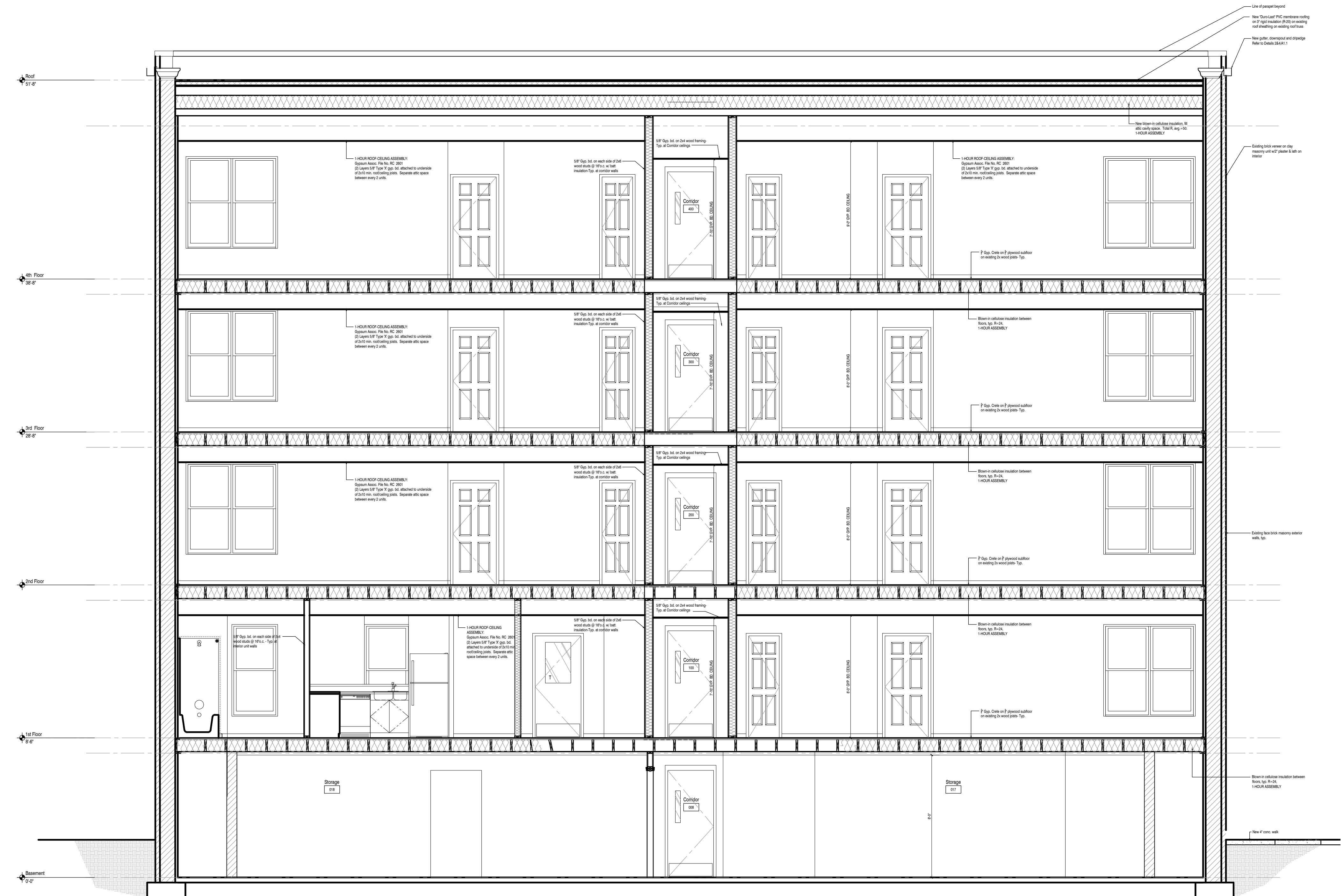
SGP  
Checked By

**A4.2**  
Drawing No.

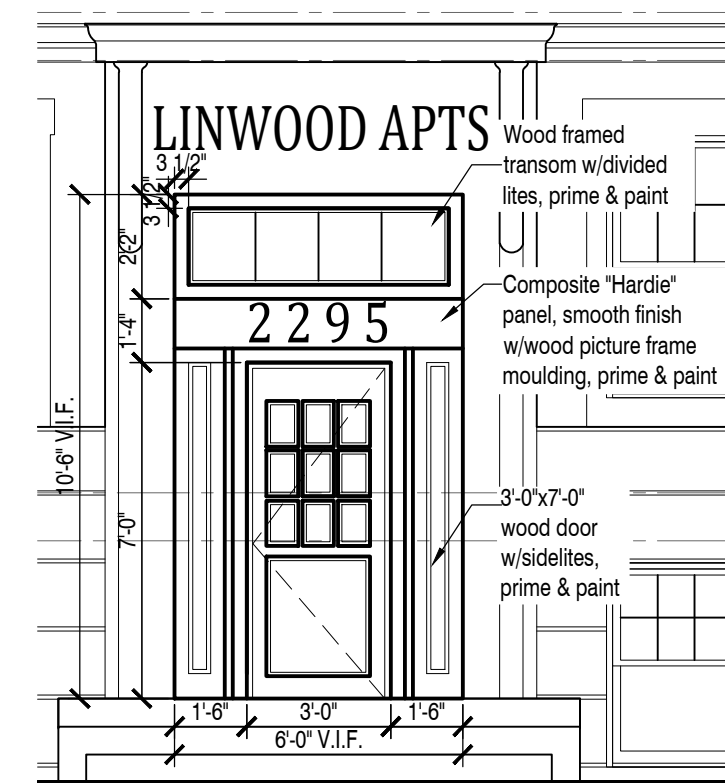
**BUILDING SECTION NOTES:**

**NOTES:**

1. Sister new joist to every joist or every other joist. If site conditions vary from what is shown add additional support.
2. Verify all bearing conditions.
3. Reinforce bearing walls as required.

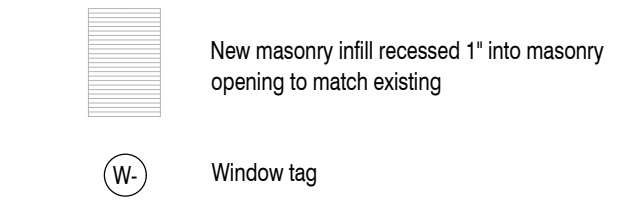


13 East West Building Section @ Rear  
A4.1 Scale: 1/4" = 1'-0"

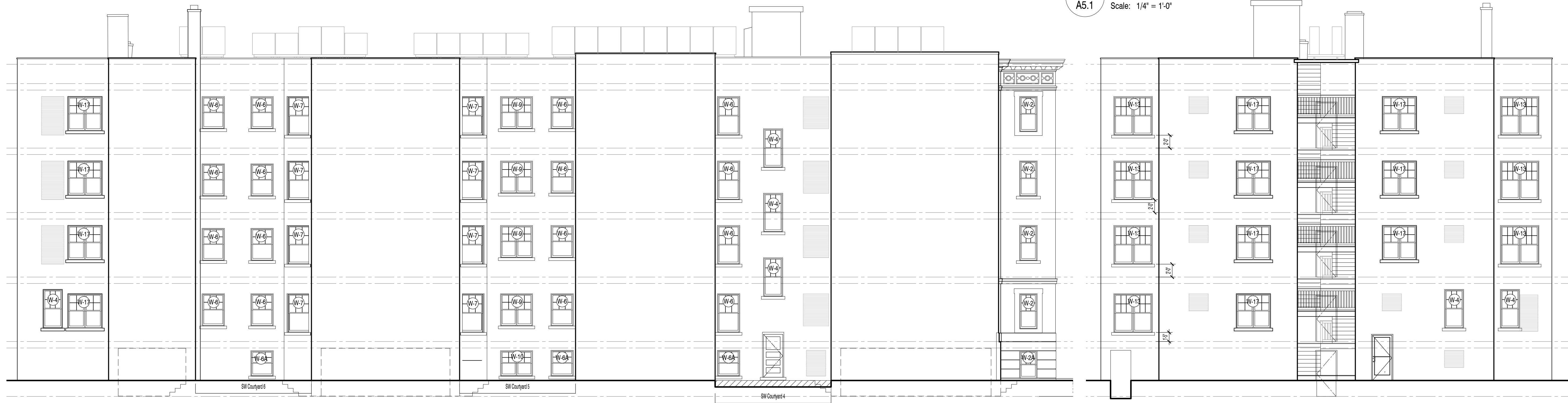


**ELEVATION GENERAL NOTES & LEGEND:**

- NOTES:**
1. "T" indicates fully tempered safety glass.
  2. Refer to Window Schedule for window tag (W-#) designations.
  3. Do not assume the similar window/door masonry openings have the same dimensions.
  4. Infill masonry shall be salvaged or new brick to match size, color and texture for seamless transition to existing brick.
  5. Verify all window and door openings in the field prior to ordering and installation.
  6. Contractor to perform general masonry assessment prior to construction.
  7. Tuckpoint existing masonry as necessary.



**8 Elevation at Front Door**  
A5.1 Scale: 1/4" = 1'-0"



**19 SW Elevation**  
A5.1 Scale: 1/8" = 1'-0"

**7 NW Elevation - Alley**  
A5.1 Scale: 1/8" = 1'-0"



**7 SW Elevation- Courtyard 6**  
A5.1 Scale: 1/8" = 1'-0"

**13 SW Elevation- Courtyard 5**  
A5.1 Scale: 1/8" = 1'-0"

**9 SW Elevation- Courtyard 4**  
A5.1 Scale: 1/8" = 1'-0"



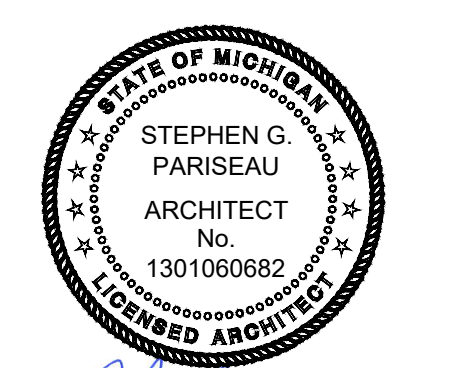
**5 SE Elevation - W Grand Blvd**  
A5.1 Scale: 1/8" = 1'-0"

104 W. Fourth Street  
Suite 303  
Royal Oak, Michigan 48067

248.629.7153 ph.  
248.629.7154 fax

www.SHELTERSTUDIO.LLC.com

Architect of Record



104 W. Fourth St., Suite 303  
Royal Oak, MI 48067

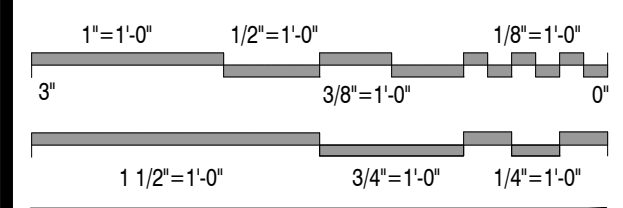
248.629.7153 ph.

Owner

**DEVELOP DETROIT**  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project

**Apartment Renovation**  
**LINWOOD APARTMENTS**  
2295 W Grand Blvd  
Detroit, MI 48208

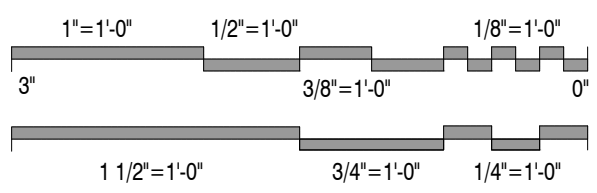


Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title  
**Building Elevations**

2021-248  
Project No. JMH  
Drawn By As Noted  
Scale  
SGP  
Checked By

**A5.1**  
Drawing No.



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

**ELEVATION GENERAL NOTES & LEGEND:**

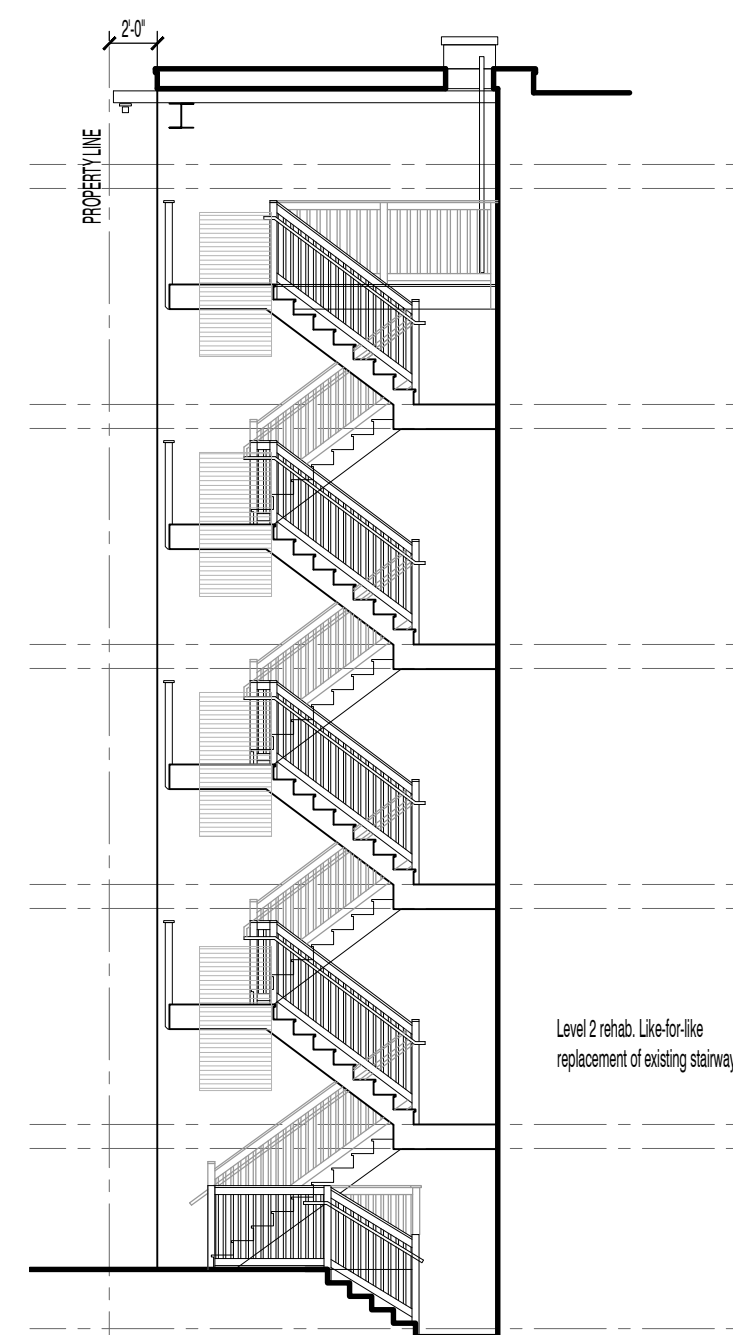
**NOTES:**

- \*T indicates fully tempered safety glass.
- Refer to Window Schedule for window tag (W) designations.
- Do not assume the similar window/door masonry openings have the same dimensions.
- Infill masonry shall be salvaged or new brick to match size, color and texture for seamless transition to existing brick.
- Verify all window and door openings in the field prior to ordering and installation.
- Contractor to perform general masonry assessment prior to construction.
- Tuckpoint existing masonry as necessary.

- New masonry infill recessed 1" into masonry opening to match existing
- Window tag



15 NE Elevation - Linwood Street  
A5.2 Scale: 1/8" = 1'-0"



17 NW Elevation- Stair Court  
A5.2 Scale: 1/8" = 1'-0"



13 NE Elevation- Courtyard 1  
A5.2 Scale: 1/8" = 1'-0"

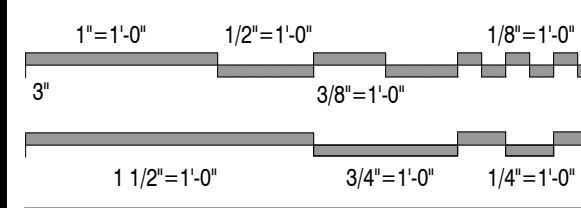
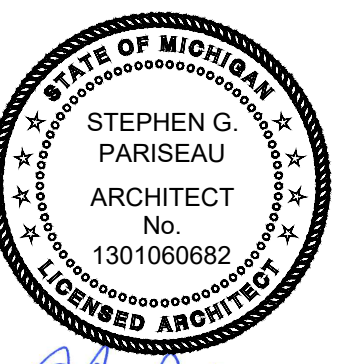
5 NE Elevation- Courtyard 2  
A5.2 Scale: 1/8" = 1'-0"

1 NE Elevation- Courtyard 3  
A5.2 Scale: 1/8" = 1'-0"

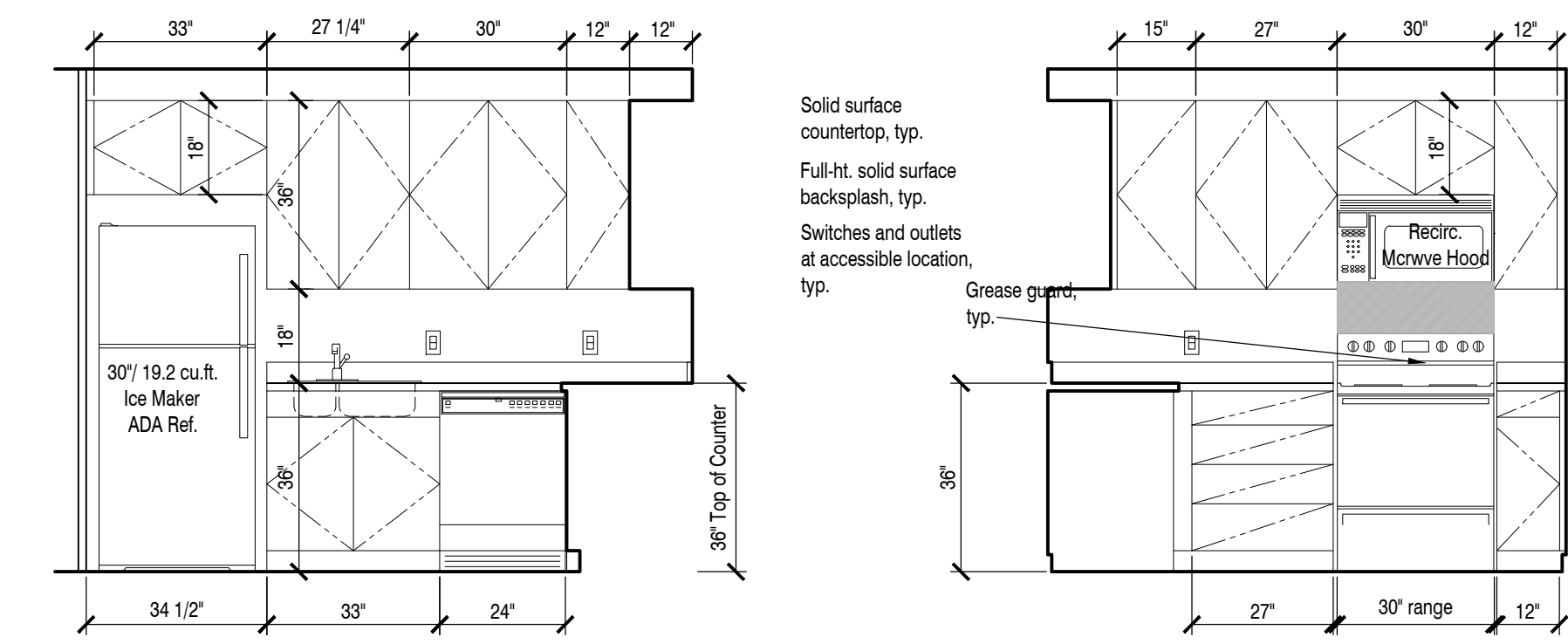
Drawing Title  
**Building Elevations**

2021-248  
Project No. JMH  
Drawn By As Noted  
Scale  
SGP  
Checked By

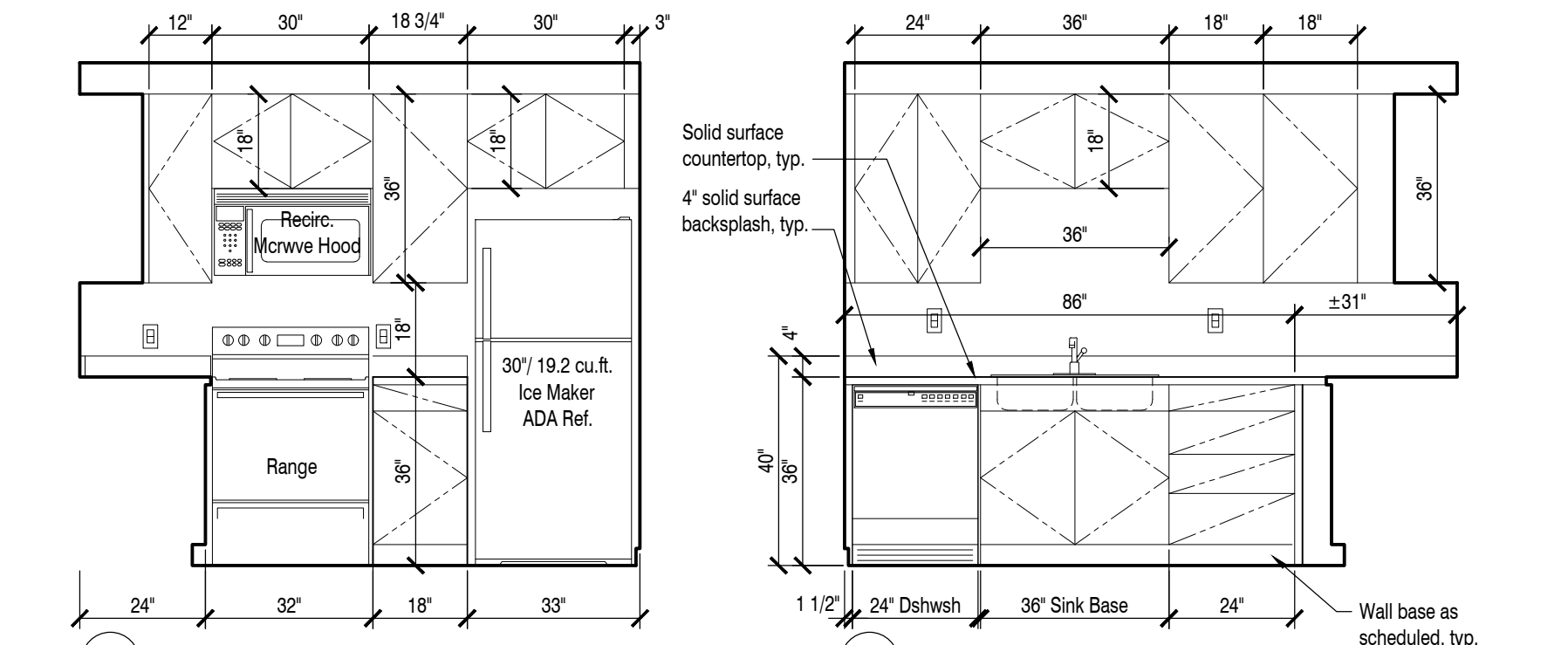
**A5.2**  
Drawing No.



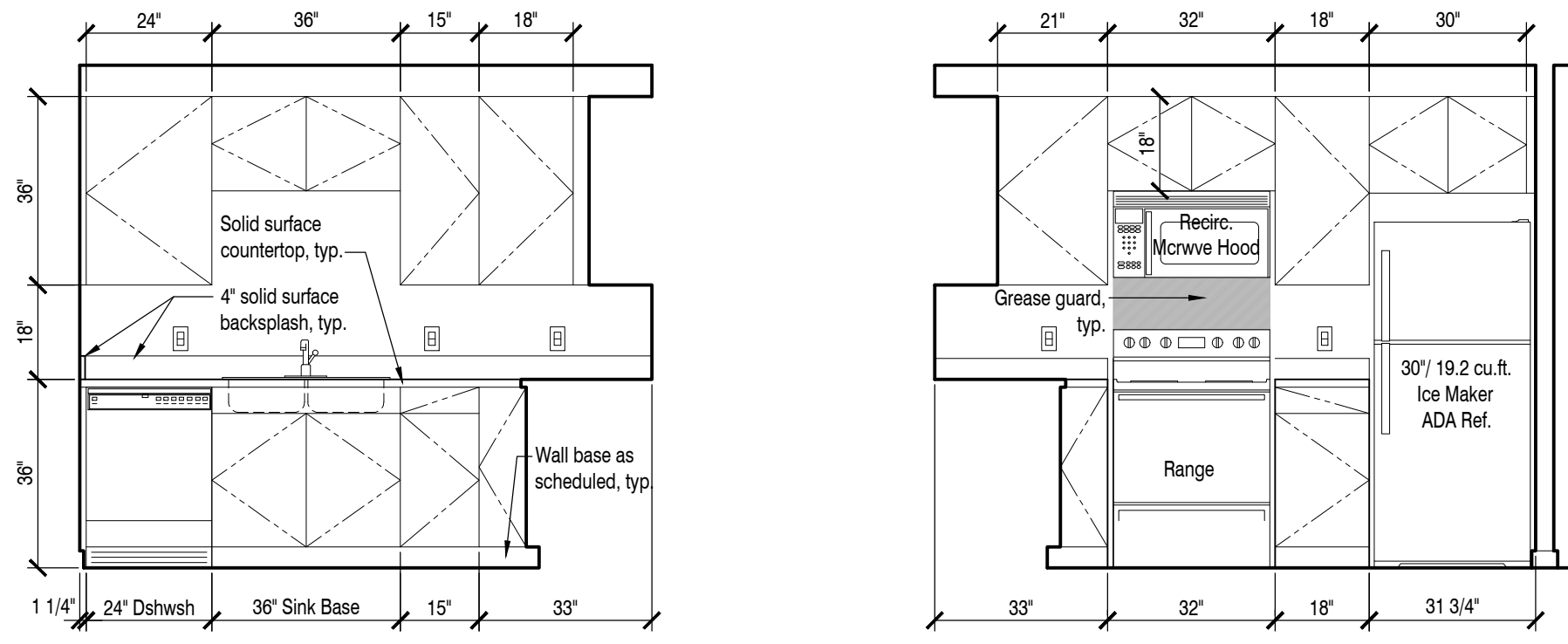
Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026



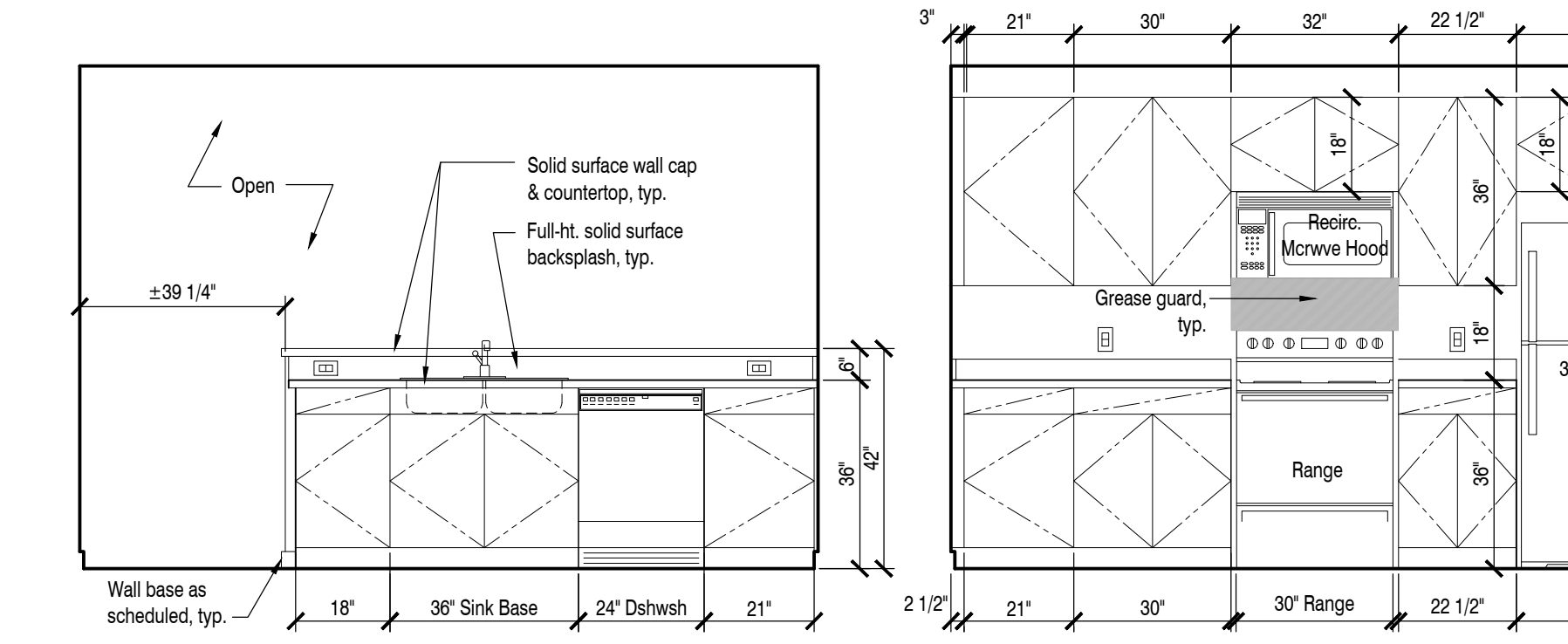
1 Interior Elevation -  
Kitchen Units 306-406  
A6.1 Scale: 3/8" = 1'-0"



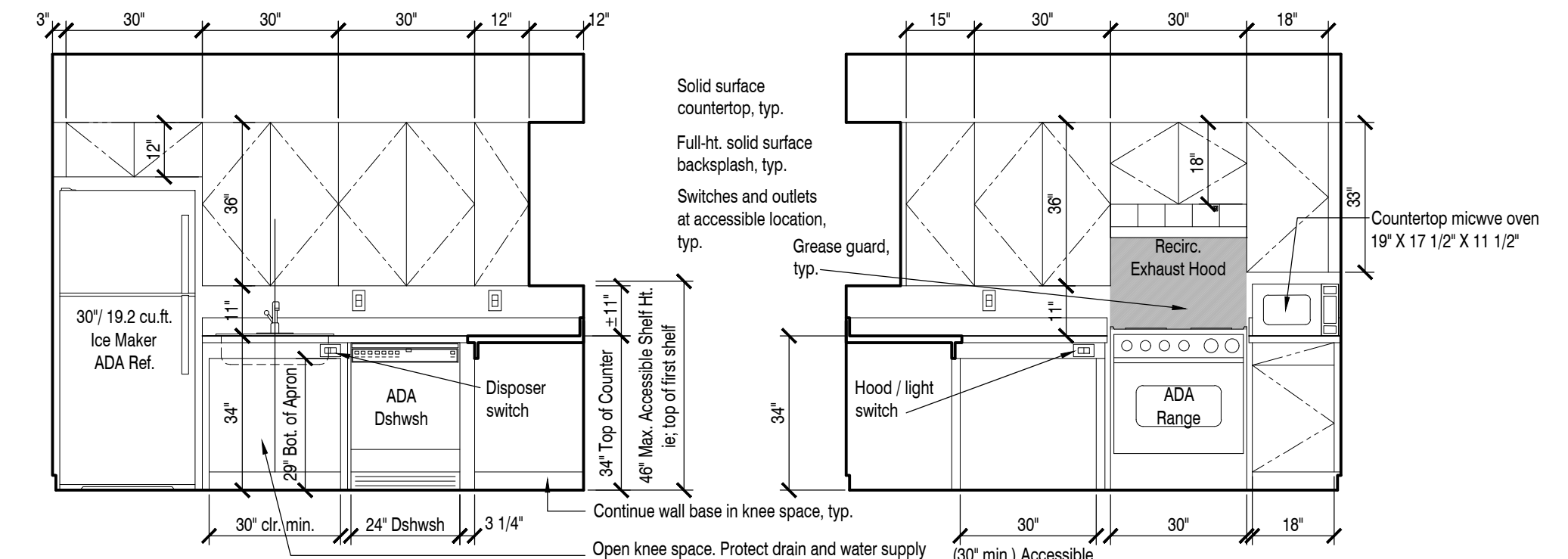
3 Interior Elevation - 105 - 405, 107 - 407 opp.,  
Kitchen Units 108 - 408, 209 - 409 opp., 110 - 410  
A6.1 Scale: 3/8" = 1'-0"



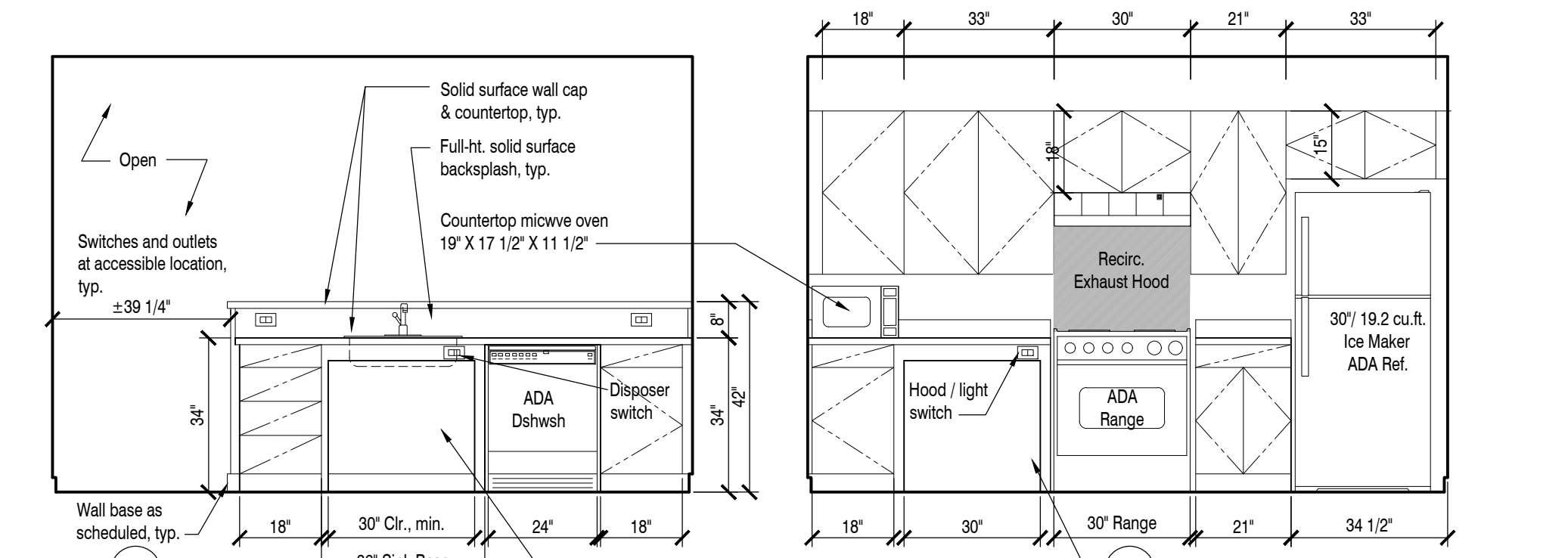
2 Interior Elevation -  
Kitchen Units 103-403, 104-404 opp.  
A6.1 Scale: 3/8" = 1'-0"



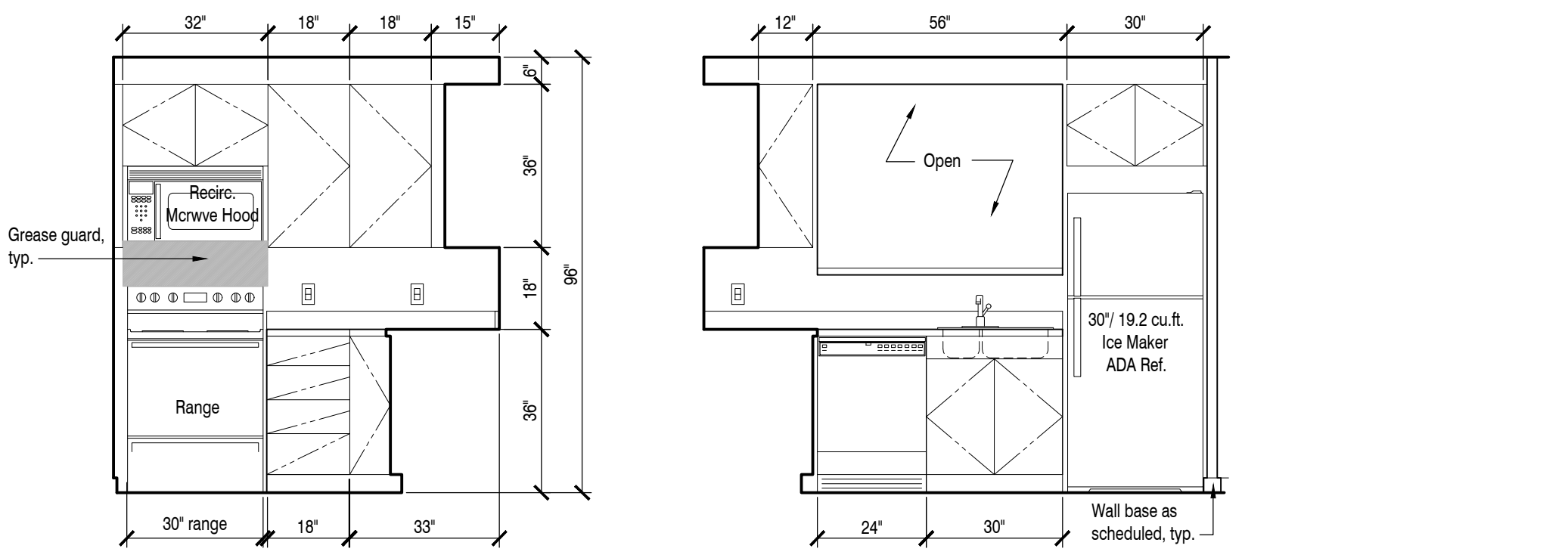
1 Interior Elevation -  
Kitchen Units 101 & 401, 102 - 402 opp.  
A6.1 Scale: 3/8" = 1'-0"



1 Interior Elevation -  
Kitchen TYPE A Units 106 & 206  
A6.1 Scale: 3/8" = 1'-0"



6 Interior Elevation -  
Kitchen TYPE A Units 201 & 301  
A6.1 Scale: 3/8" = 1'-0"



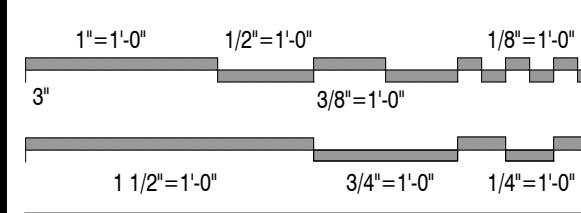
5 Interior Elevation - Kitchen Unit 109  
A6.1 Scale: 3/8" = 1'-0"

Drawing Title  
**Interior Elevations**

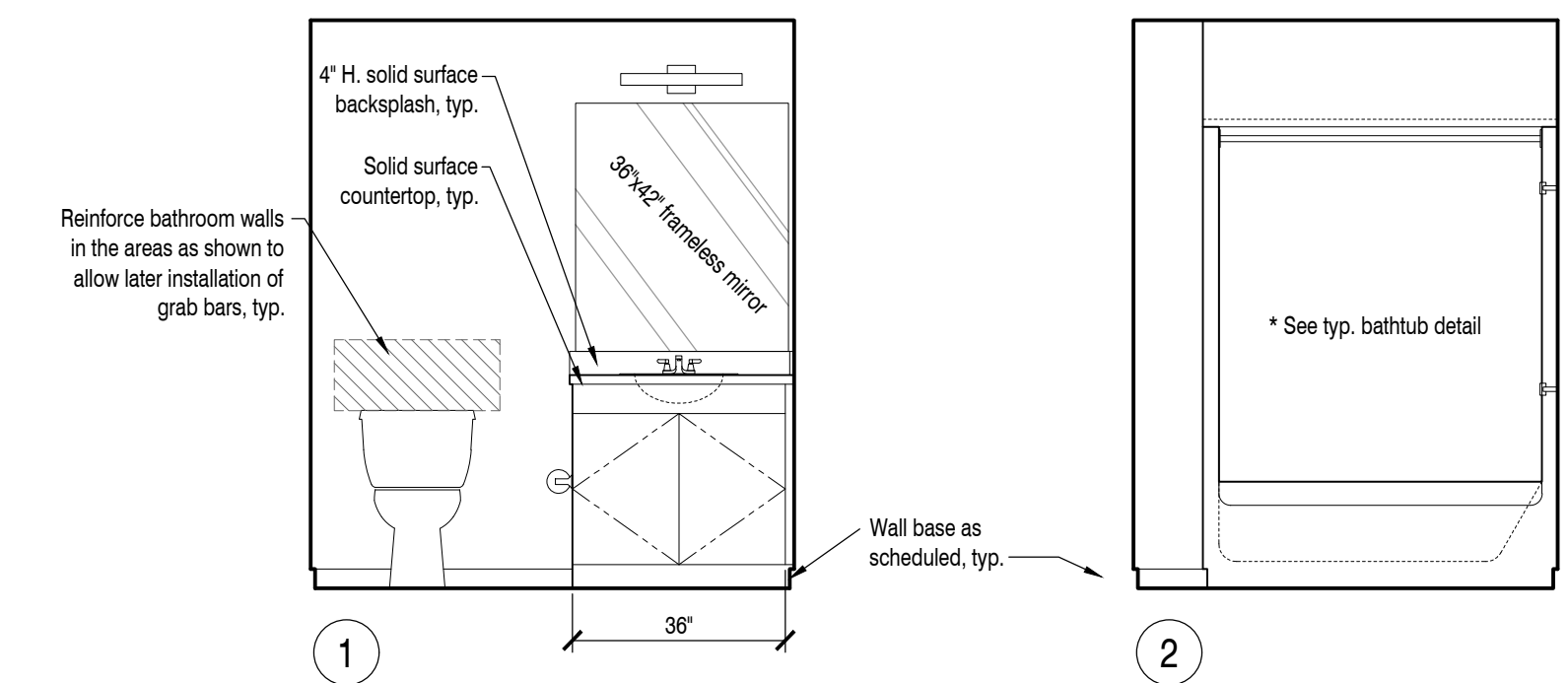
2021-248  
Project No.  
JMH  
Drawn By  
As Noted  
Scale

SGP  
Checked By

**A6.1**  
Drawing No.

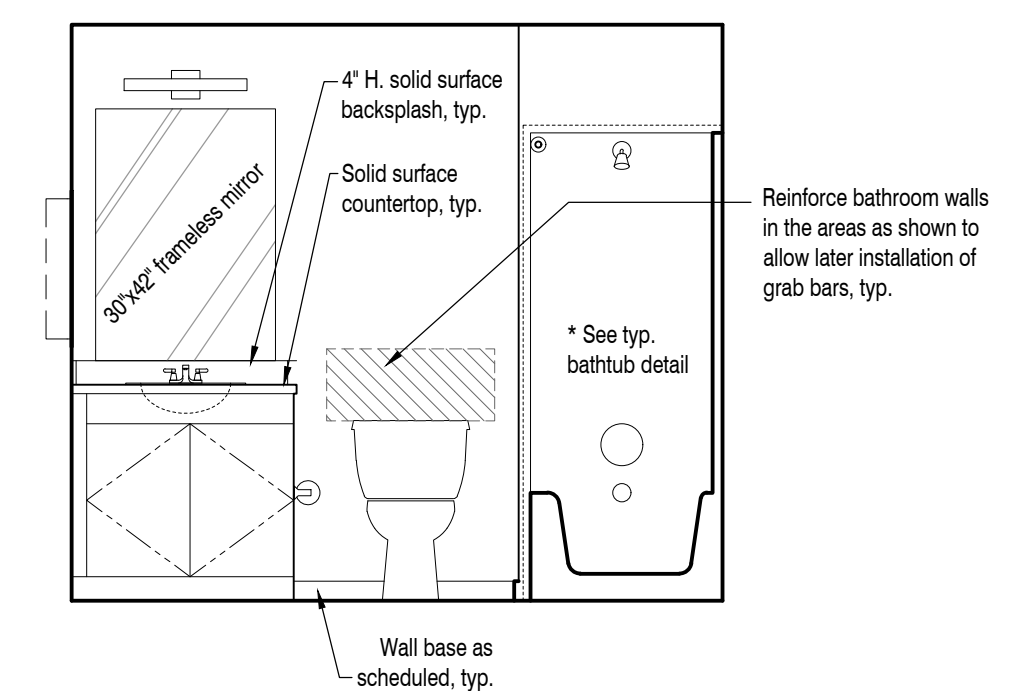


Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026



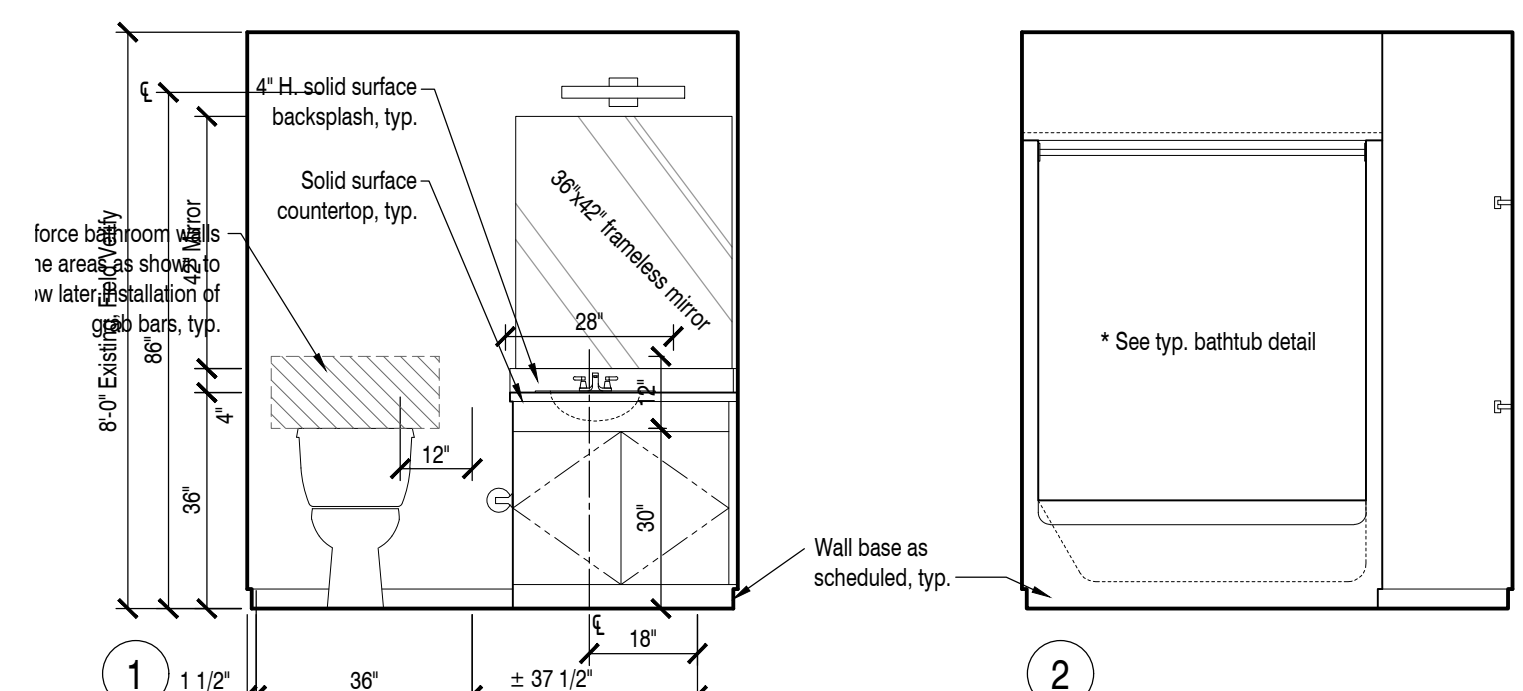
**Interior Elevation - Bathroom Unit 105-405**  
107-407 mirrored, 108-408

4  
A6.2 Scale: 3/8" = 1'-0"



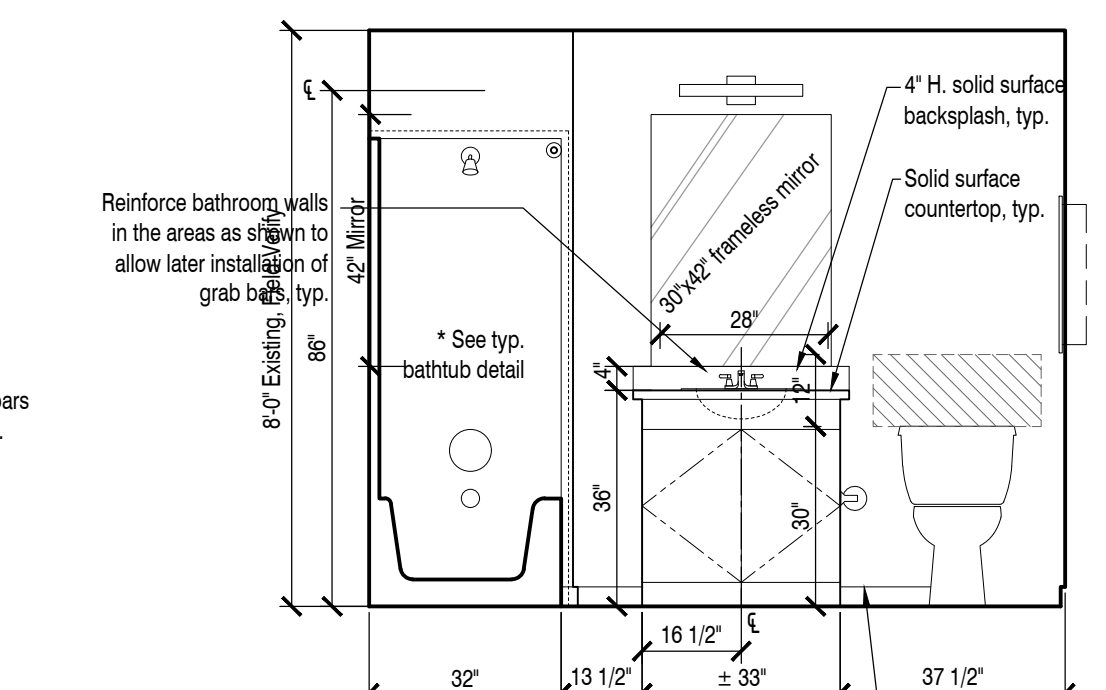
**Interior Elevation - Bathroom Unit 103-403,**  
104-404 opp., 202-402 sim., opp.

3  
A6.2 Scale: 3/8" = 1'-0"



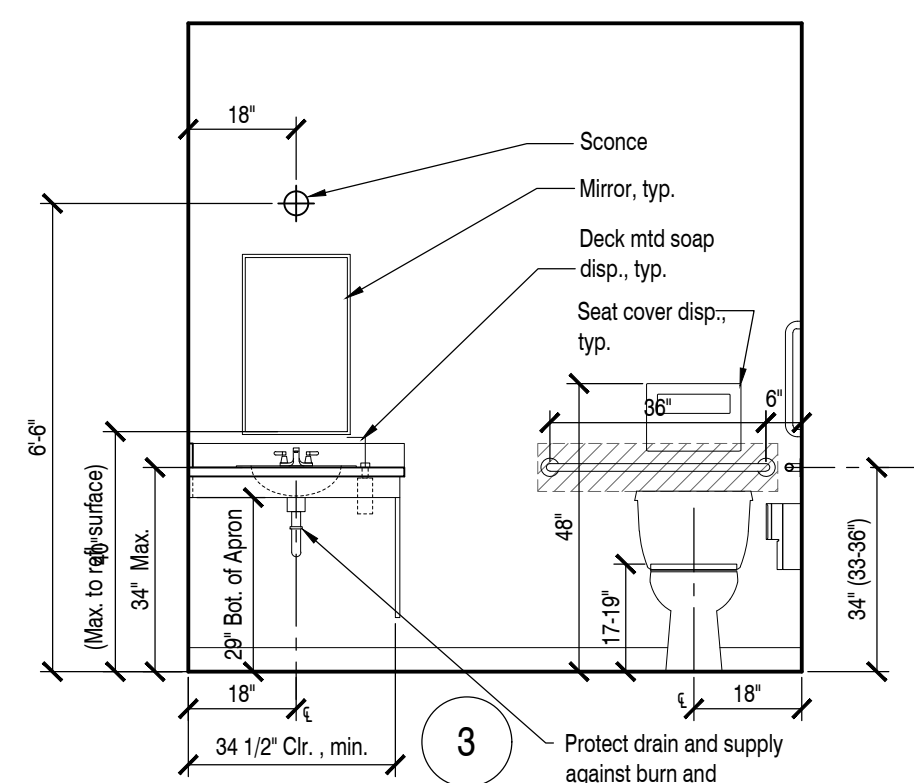
**Interior Elevation - Bathroom Unit 102**  
Units 209-409 opp., Units 110-410

2  
A6.2 Scale: 3/8" = 1'-0"



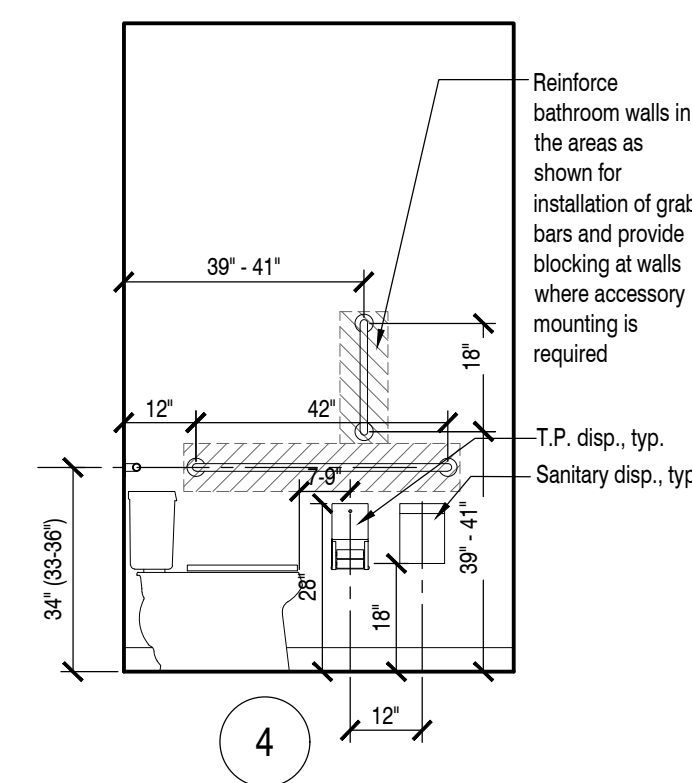
**Interior Elevation - Bathroom Unit 101**

1  
A6.2 Scale: 3/8" = 1'-0"



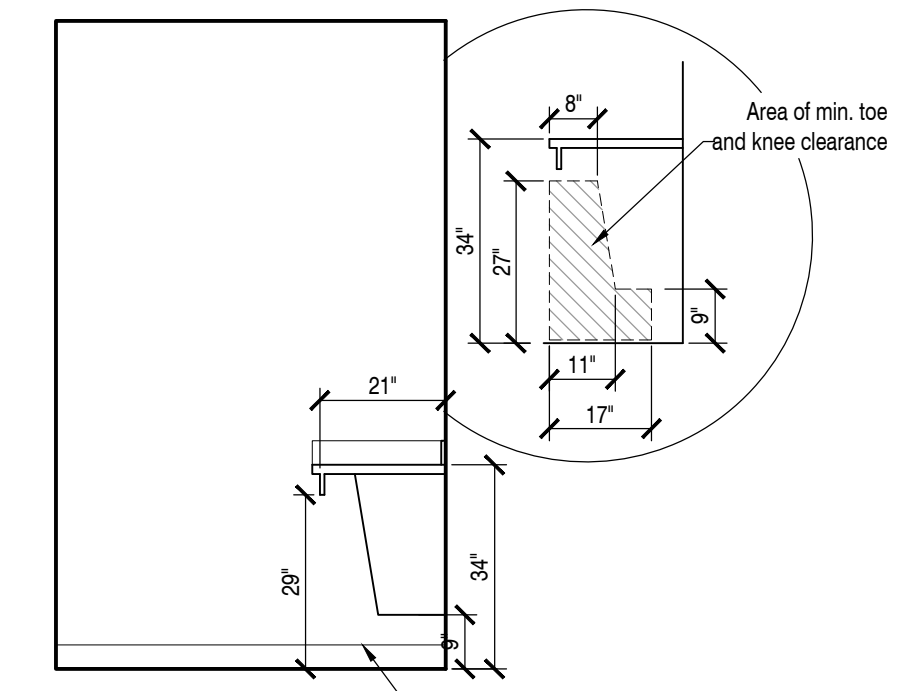
**Interior Elevation - B.F. Unisex Toilet Rooms 006 & 007**

10  
A6.2 Scale: 3/8" = 1'-0"

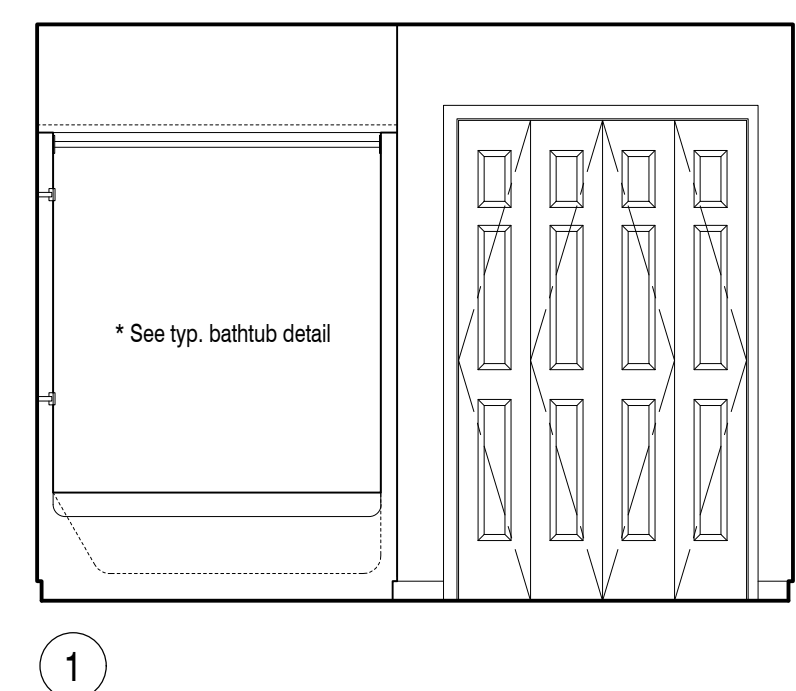


**Interior Elevation - Bathroom Unit 109**

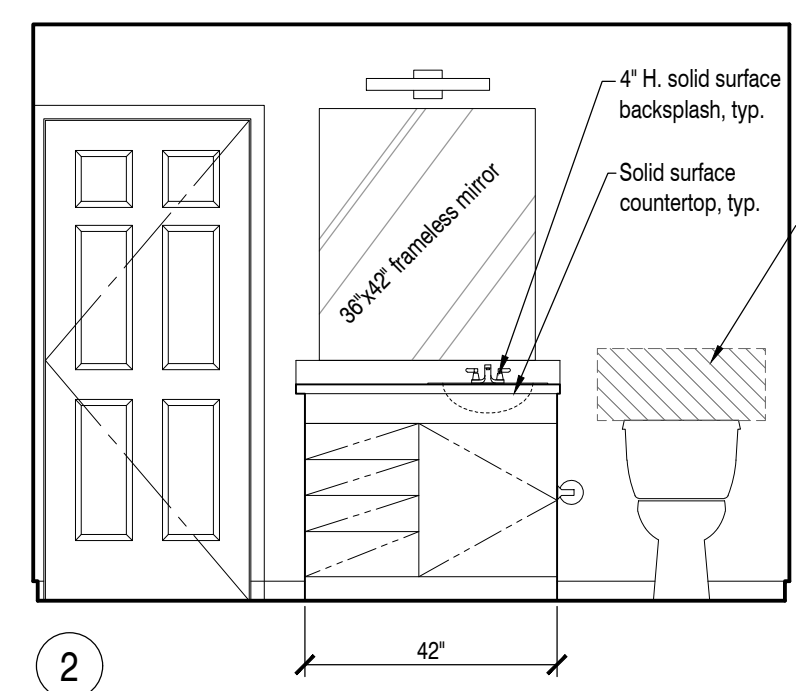
7  
A6.2 Scale: 3/8" = 1'-0"



2  
Wall base as scheduled, typ.



1  
\* See typ. bathtub detail

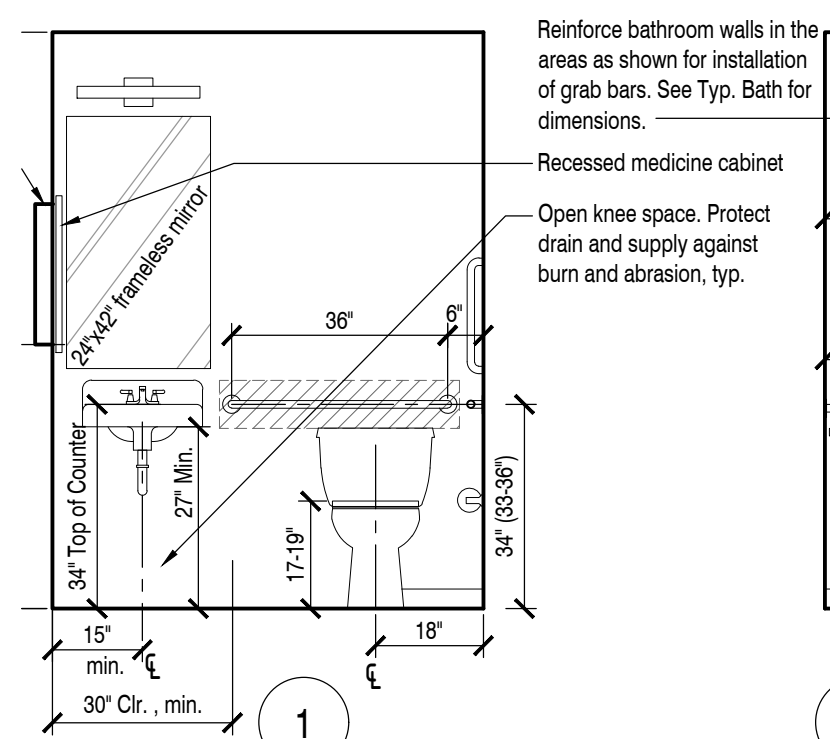


2  
42"

Reinforce bathroom walls in the areas as shown to allow later installation of grab bars, typ.

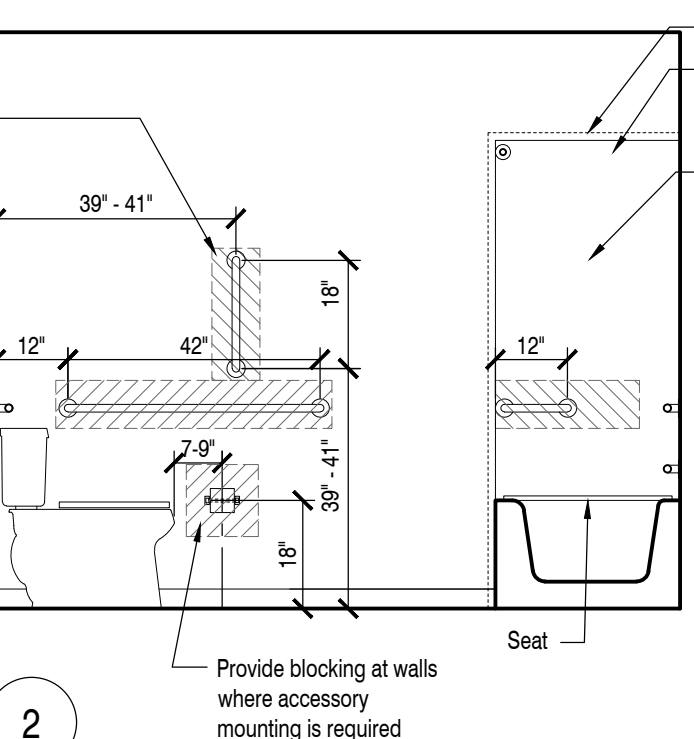
**Interior Elevation - Bathroom Unit 103-403,**  
104-404 opp., 202-402 sim., opp.

3  
A6.2 Scale: 3/8" = 1'-0"

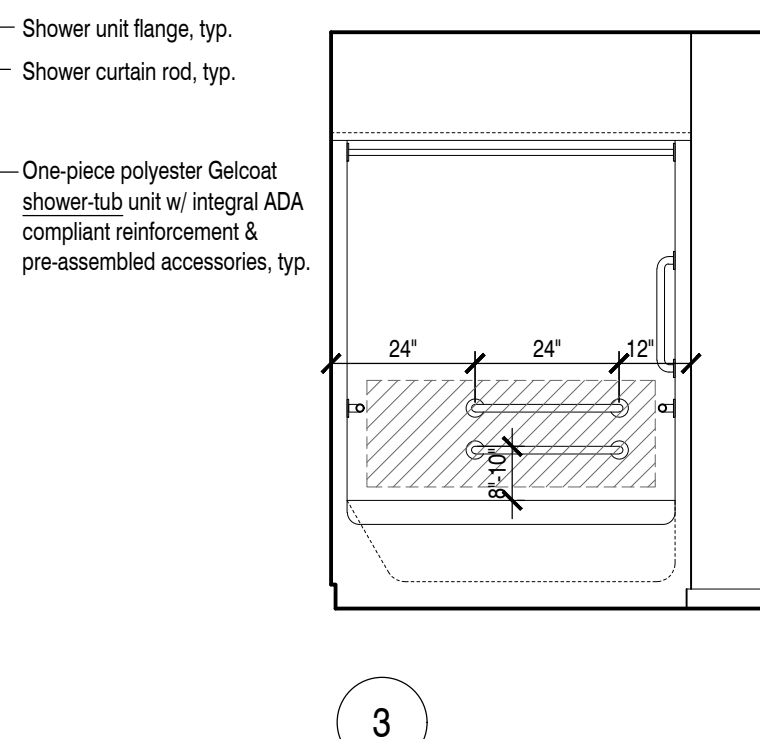


**Interior Elevation -TYPE A Bathroom Units 106 & 206, 306-406 Std.**

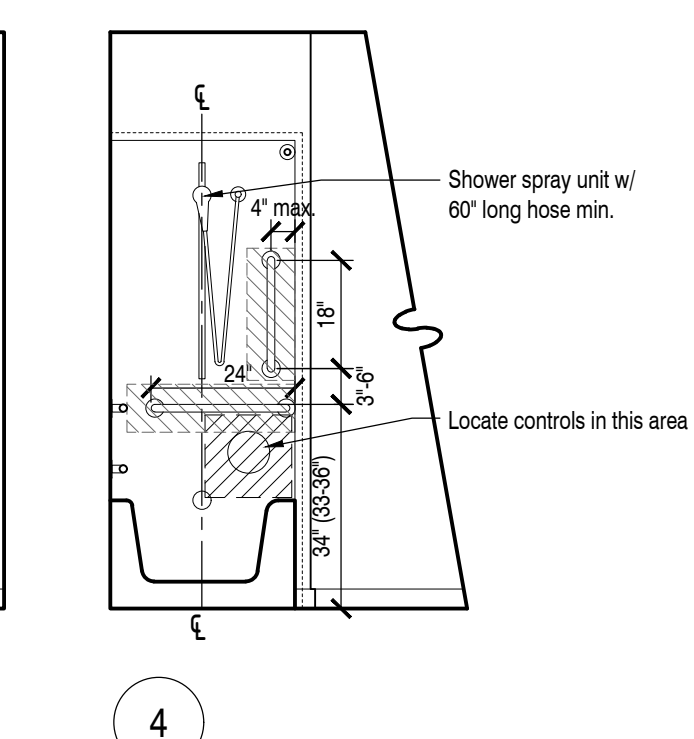
6  
A7.1 Scale: 3/8" = 1'-0"



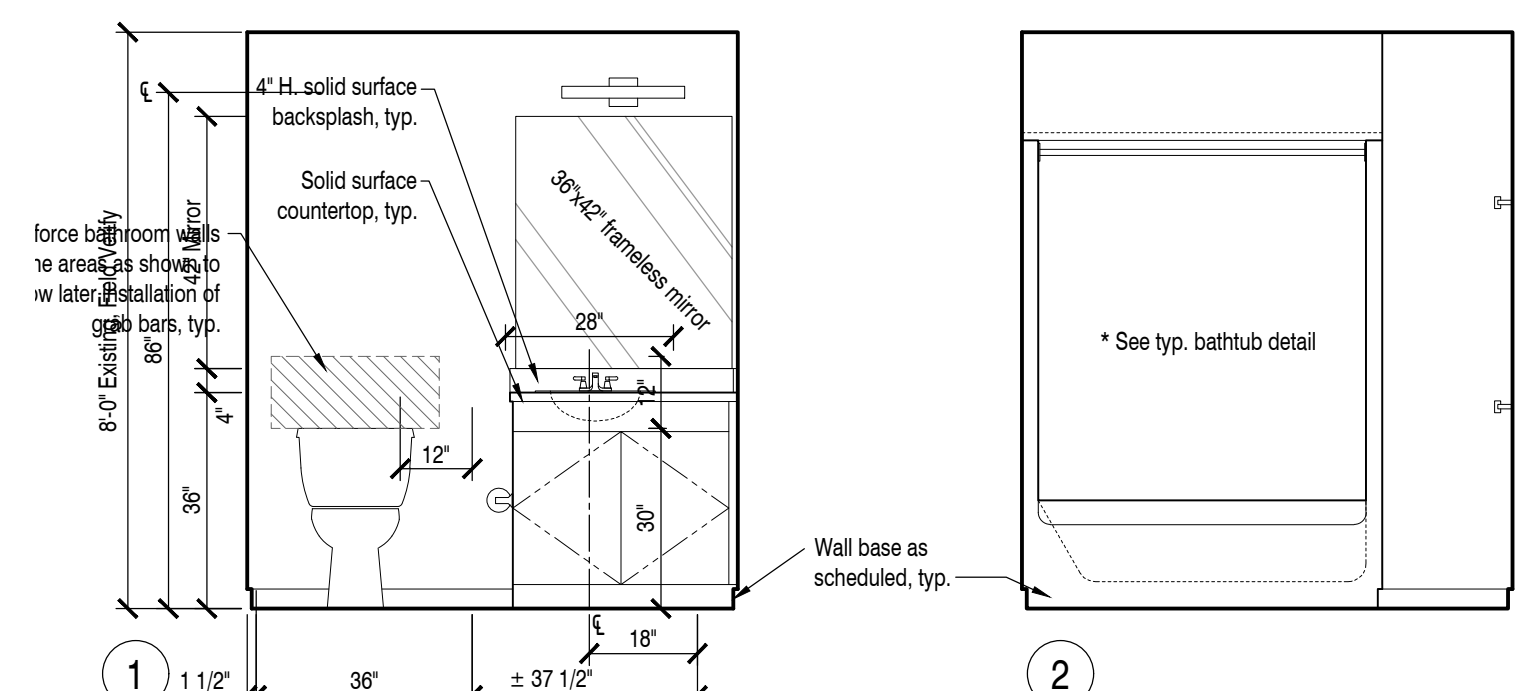
2  
Provide blocking at walls where accessory mounting is required



3  
24" 24" 12"



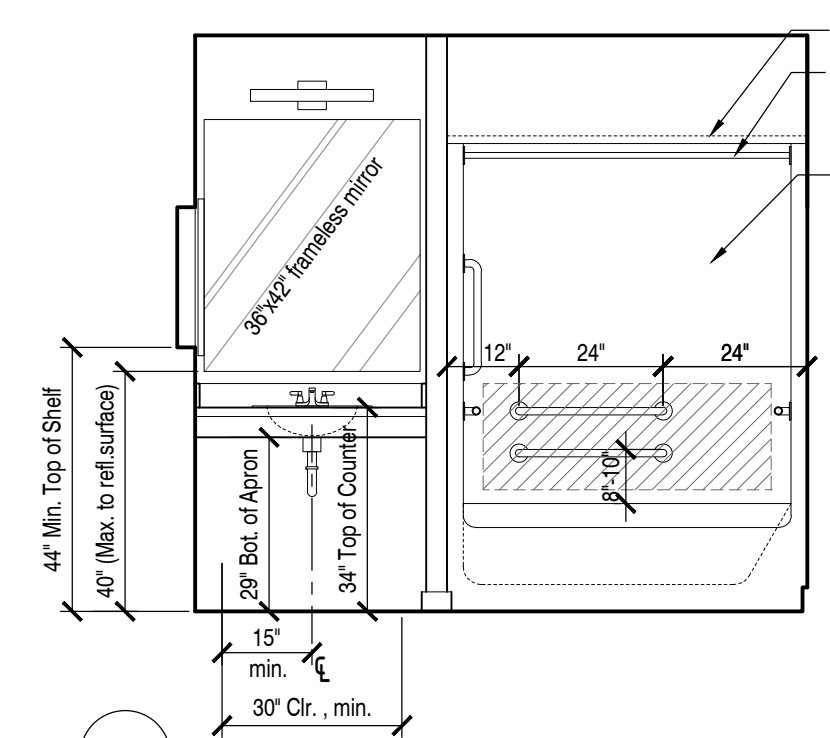
4  
Shower spray unit w/ 60' long hose min. Locate controls in this area



1  
1 1/2" Filter

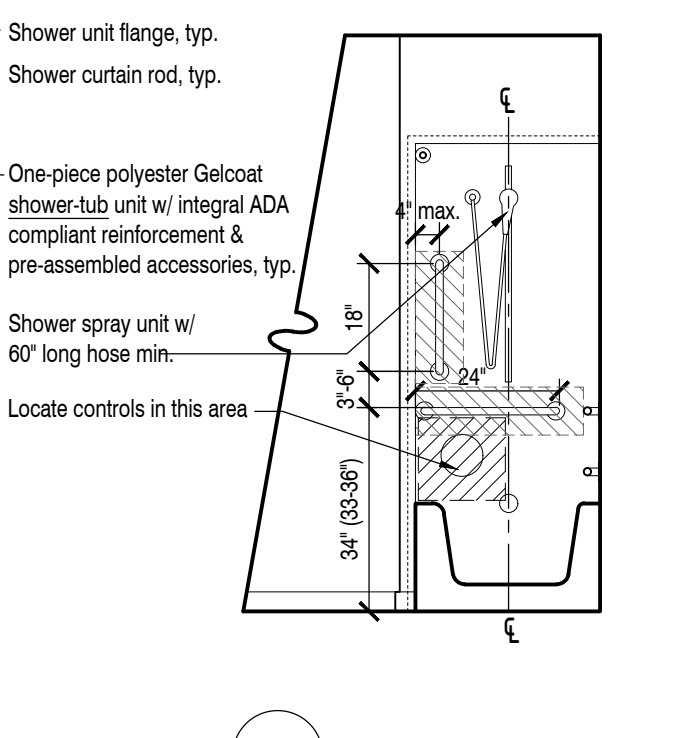
**Interior Elevation - Bathroom Unit 102**  
Units 209-409 opp., Units 110-410

2  
A6.2 Scale: 3/8" = 1'-0"

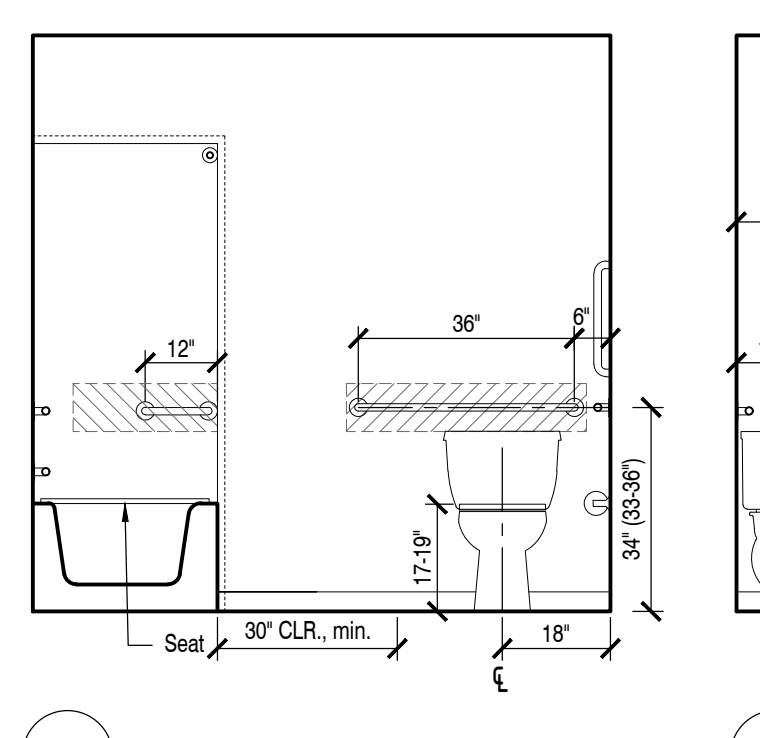


**Interior Elevation -TYPE A Bathroom Units 201 301, 401 std.**

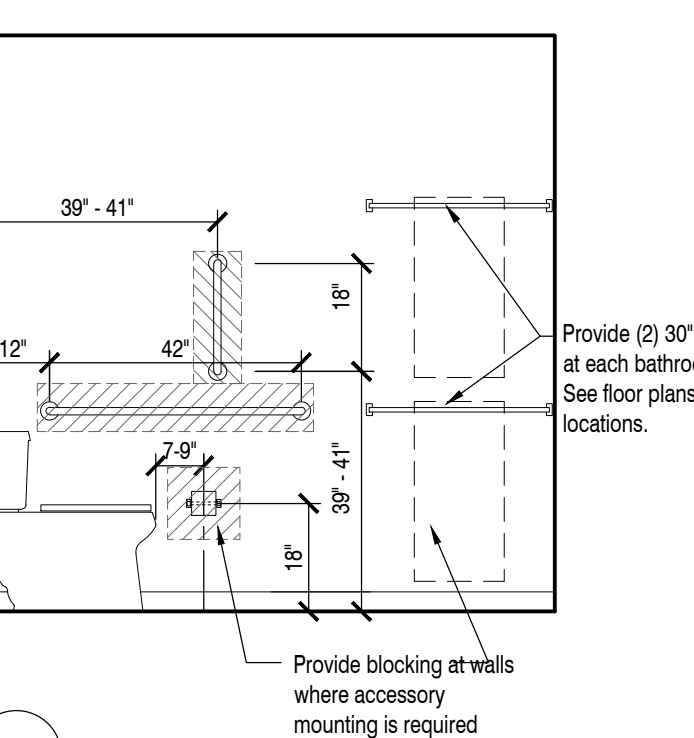
5  
A7.1 Scale: 3/8" = 1'-0"



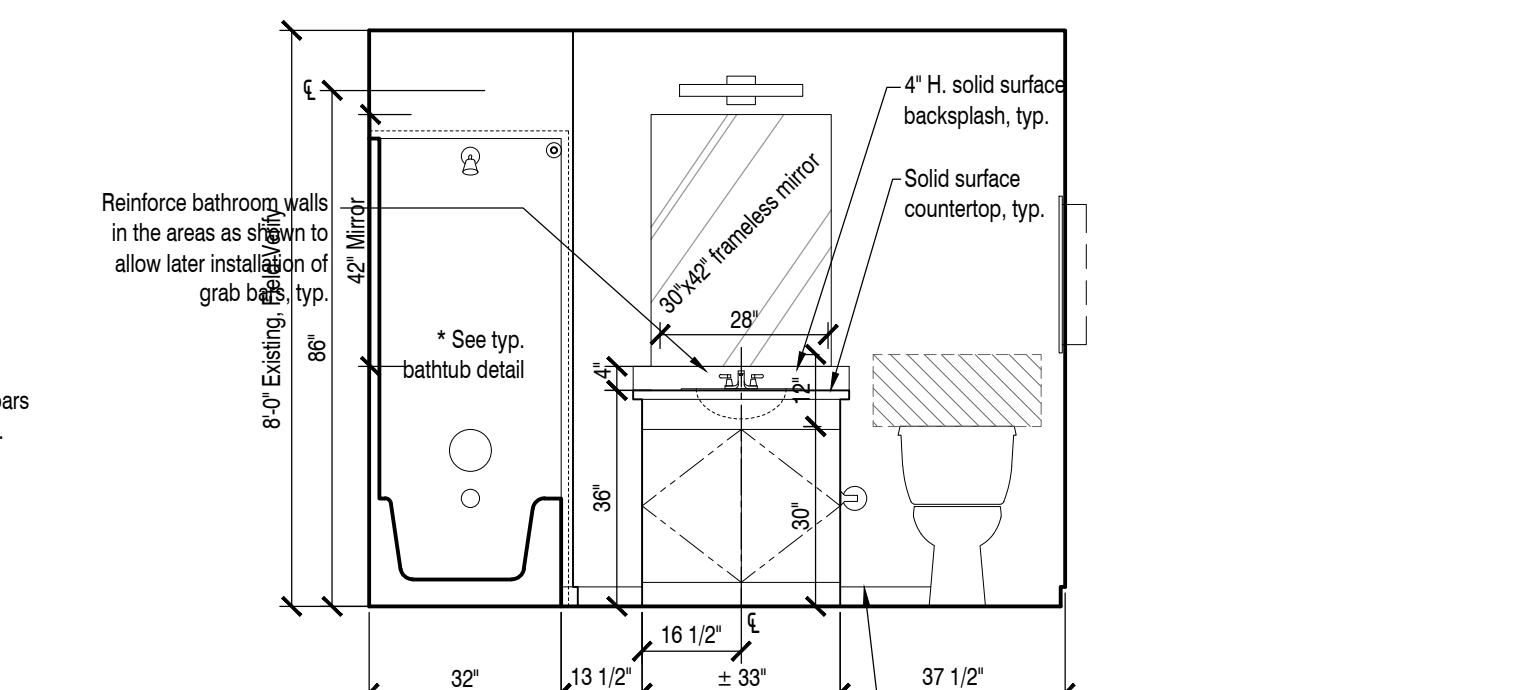
2  
Shower unit flange, typ. Shower curtain rod, typ. One-piece polyester Gelcoat shower-tub unit w/ integral ADA compliant reinforcement & pre-assembled accessories, typ. Shower spray unit w/ 60' long hose min. Locate controls in this area



3  
Seat 30" CLR, min. 17 1/2" 34" (33-3/8")

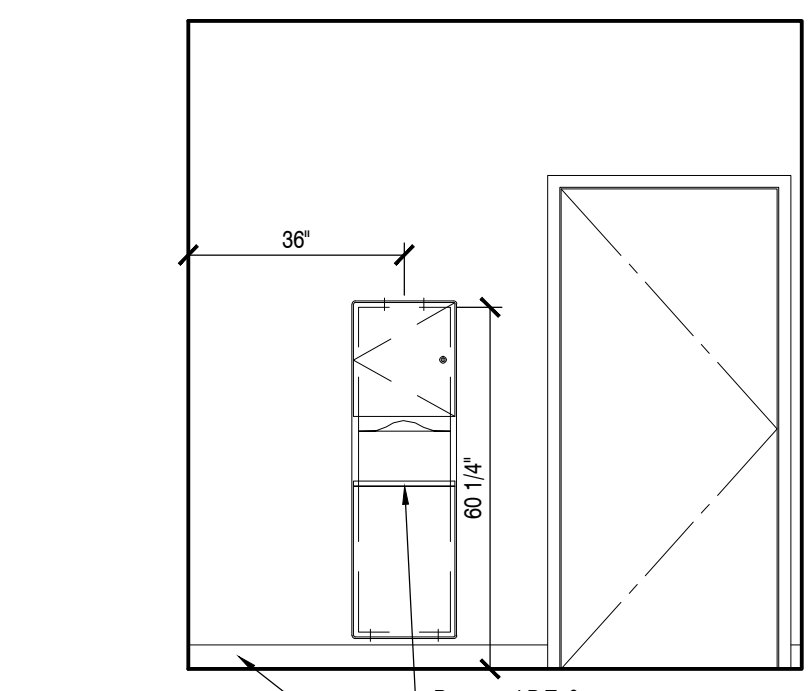


4  
Provide (2) 30" towel bars at each bathroom, typ. See floor plans for locations. Provide blocking at walls where accessory mounting is required



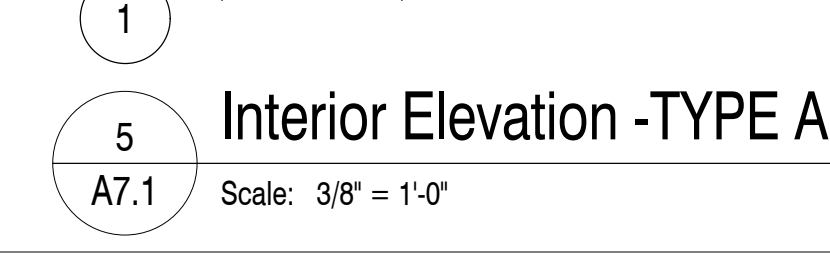
**Interior Elevation - Bathroom Unit 101**

1  
A6.2 Scale: 3/8" = 1'-0"



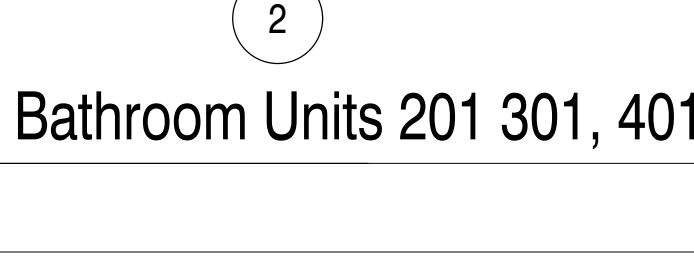
**Interior Elevation - B.F. Unisex Toilet Rooms 006 & 007**

10  
A6.2 Scale: 3/8" = 1'-0"

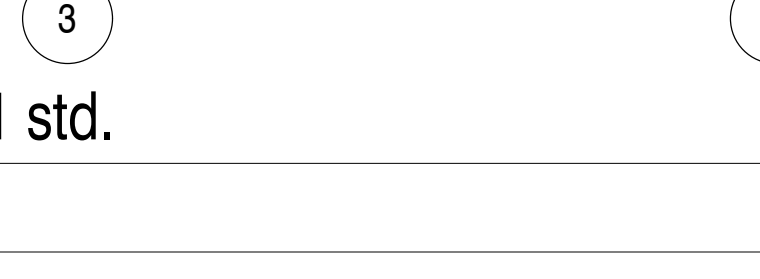


**Interior Elevation -TYPE A Bathroom Units 201 301, 401 std.**

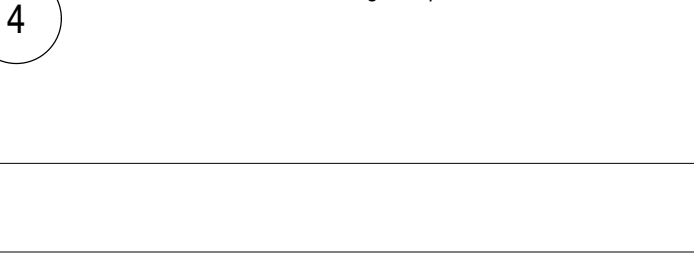
5  
A7.1 Scale: 3/8" = 1'-0"



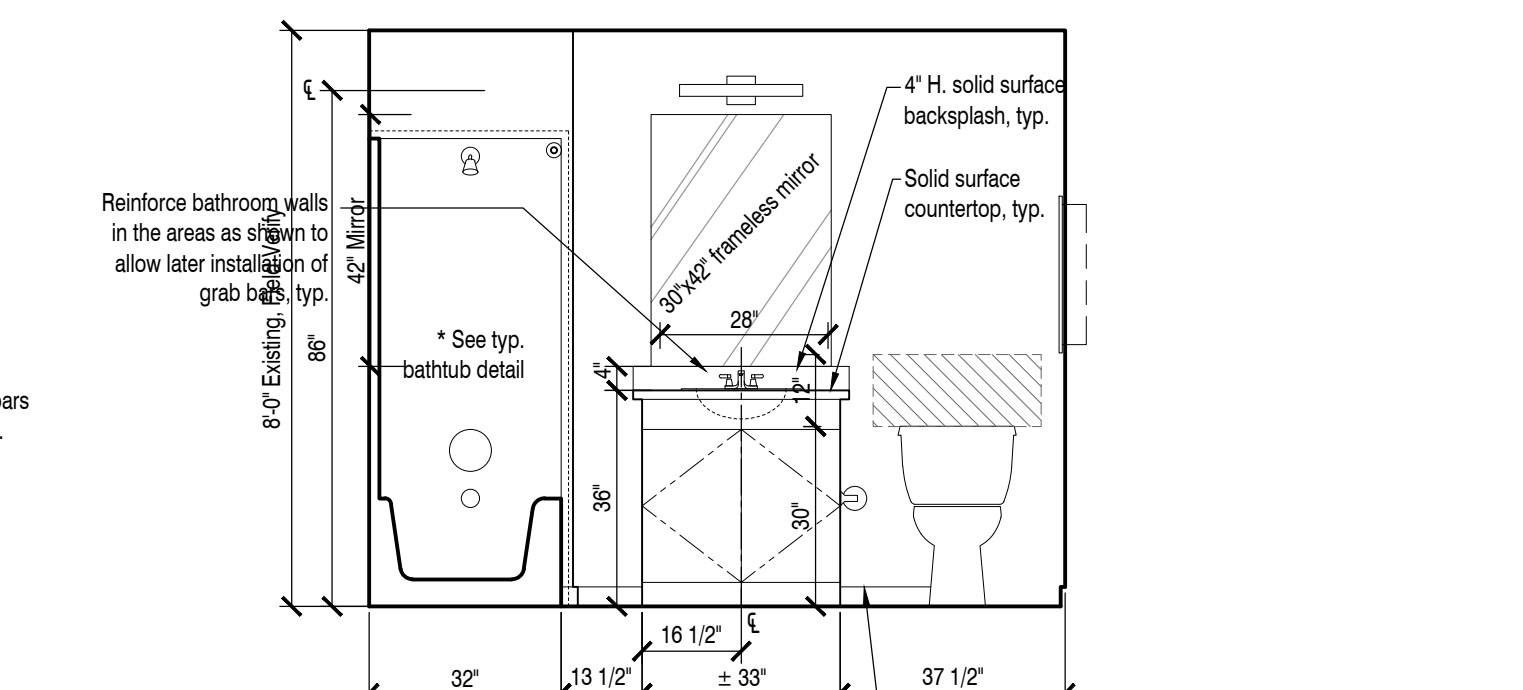
2  
Shower unit flange, typ. Shower curtain rod, typ. One-piece polyester Gelcoat shower-tub unit w/ integral ADA compliant reinforcement & pre-assembled accessories, typ. Shower spray unit w/ 60' long hose min. Locate controls in this area



3  
Seat 30" CLR, min. 17 1/2" 34" (33-3/8")

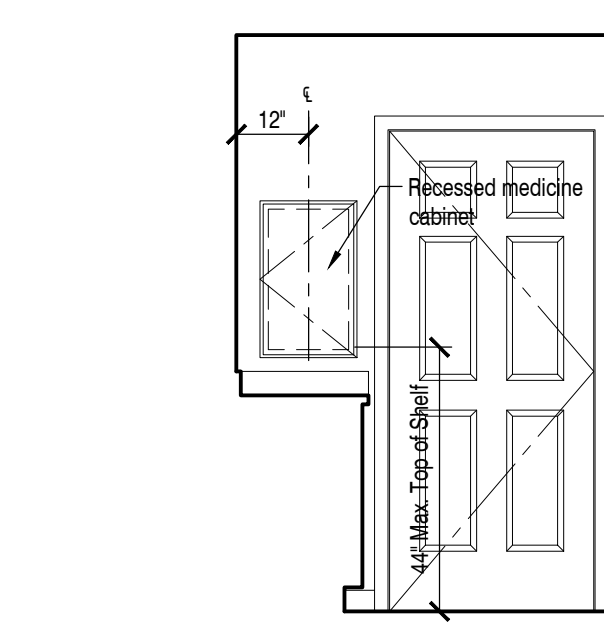


4  
Provide (2) 30" towel bars at each bathroom, typ. See floor plans for locations. Provide blocking at walls where accessory mounting is required



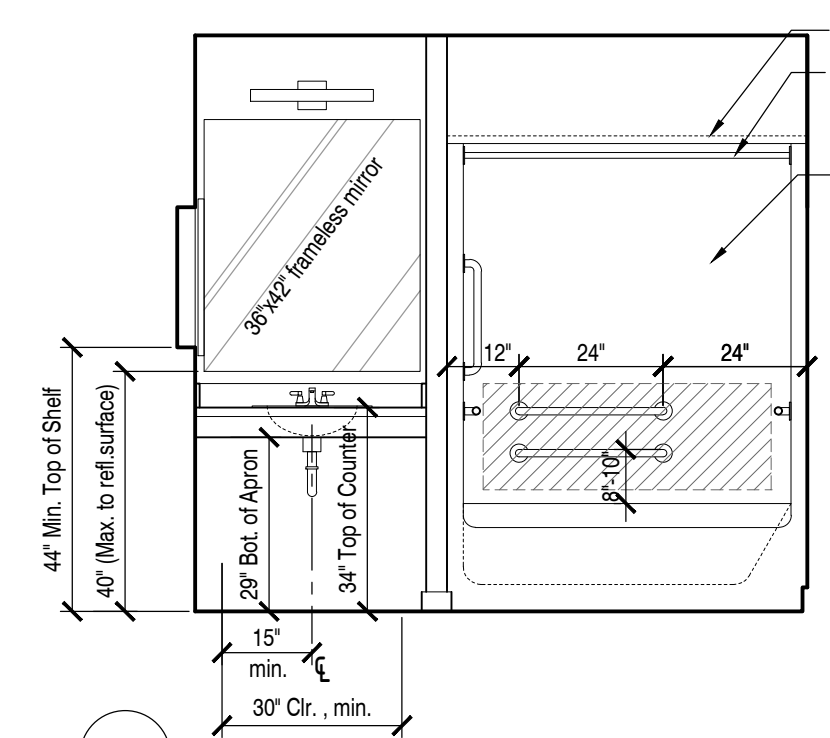
**Interior Elevation - Bathroom Unit 101**

1  
A6.2 Scale: 3/8" = 1'-0"



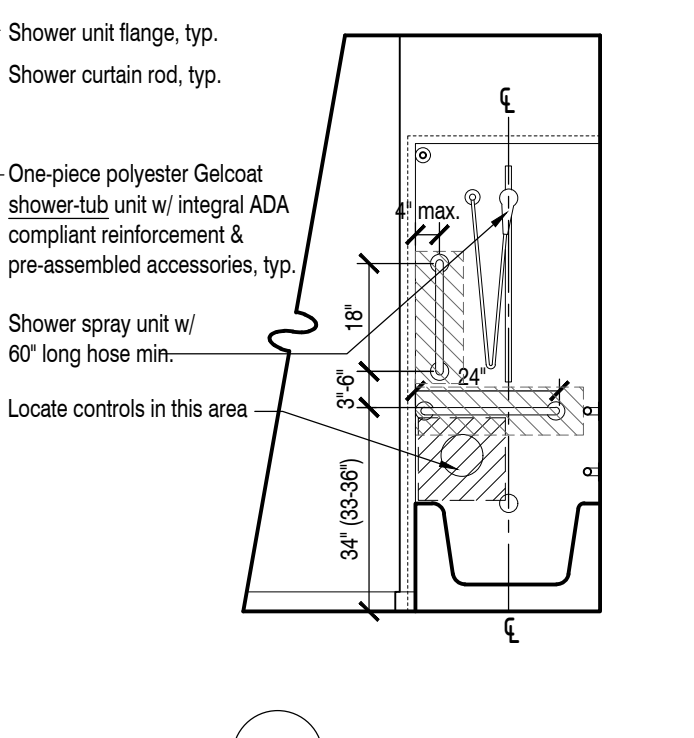
**Int. Elev. - Bathrms TYP. MEDICINE CAB'T**

8  
A6.2 Scale: 3/8" = 1'-0"

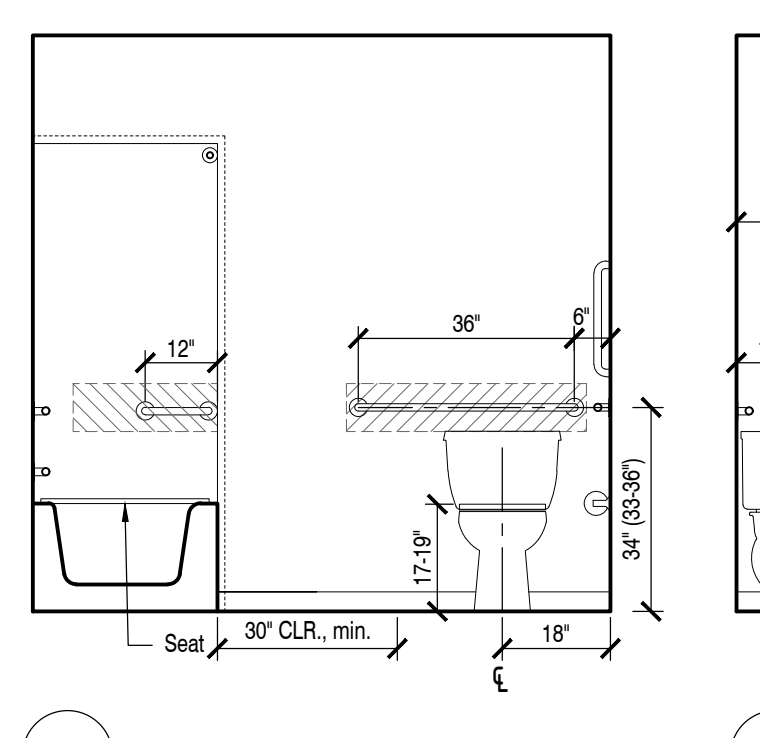


**Interior Elevation -TYPE A Bathroom Units 201 301, 401 std.**

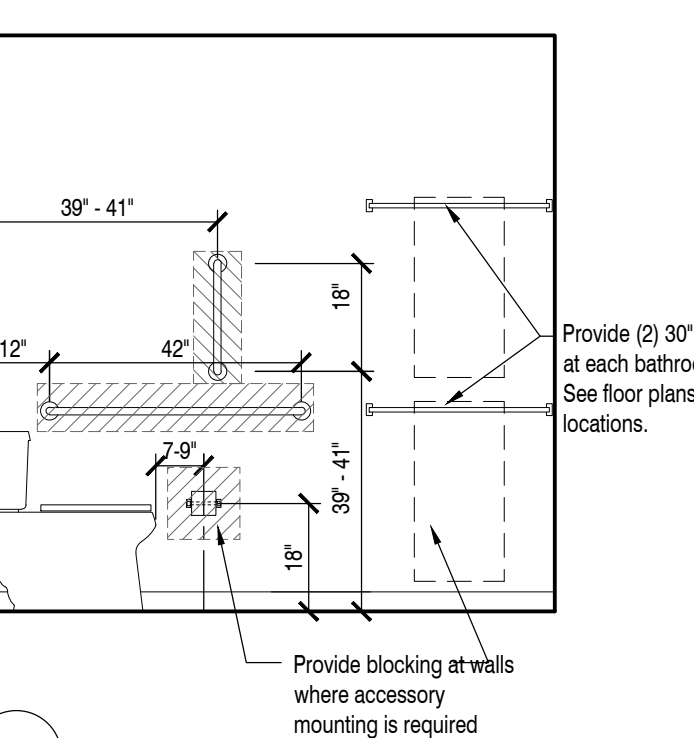
5  
A7.1 Scale: 3/8" = 1'-0"



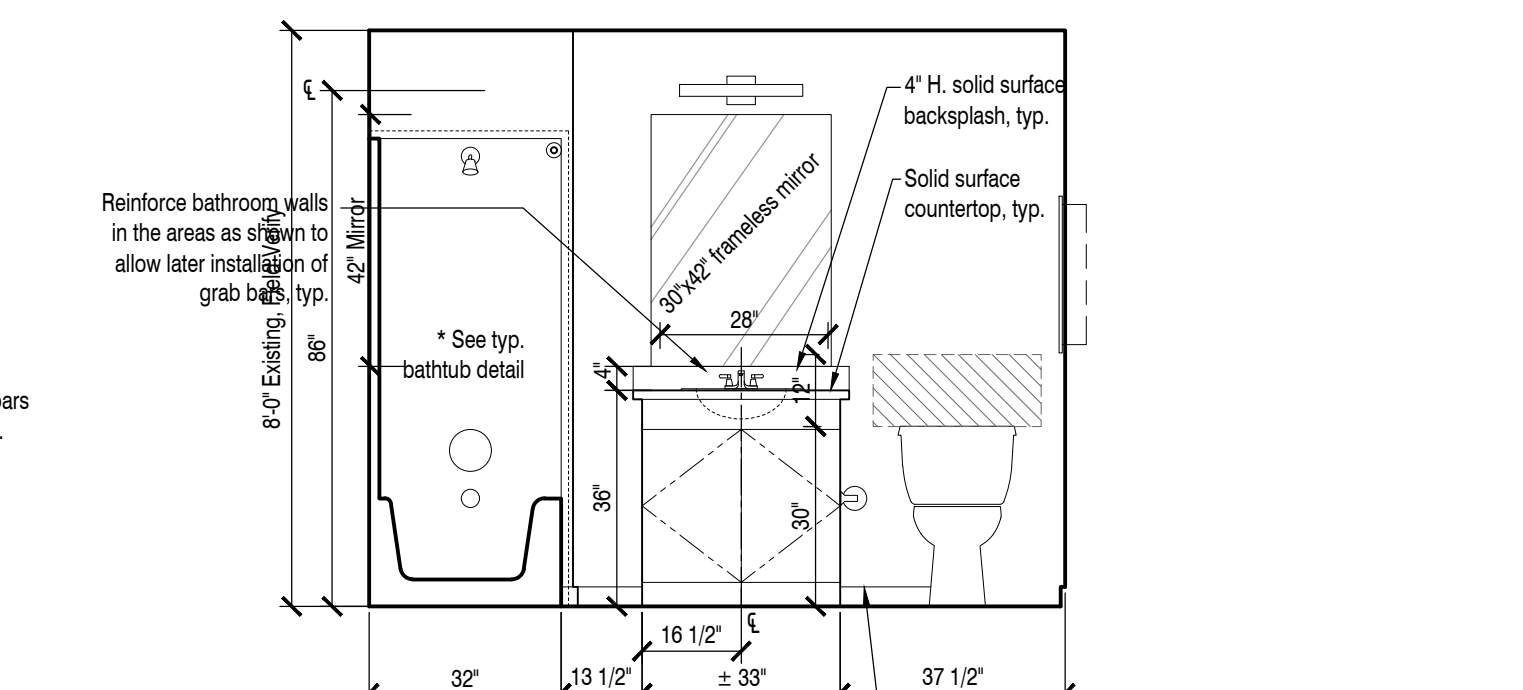
2  
Shower unit flange, typ. Shower curtain rod, typ. One-piece polyester Gelcoat shower-tub unit w/ integral ADA compliant reinforcement & pre-assembled accessories, typ. Shower spray unit w/ 60' long hose min. Locate controls in this area



3  
Seat 30" CLR, min. 17 1/2" 34" (33-3/8")



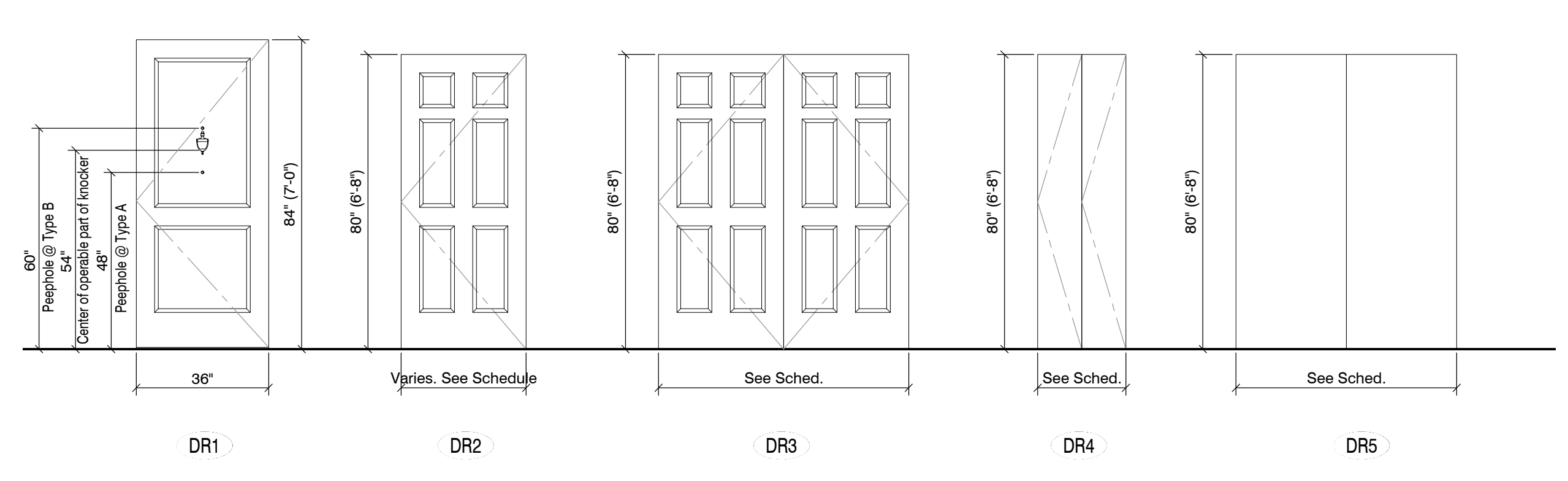
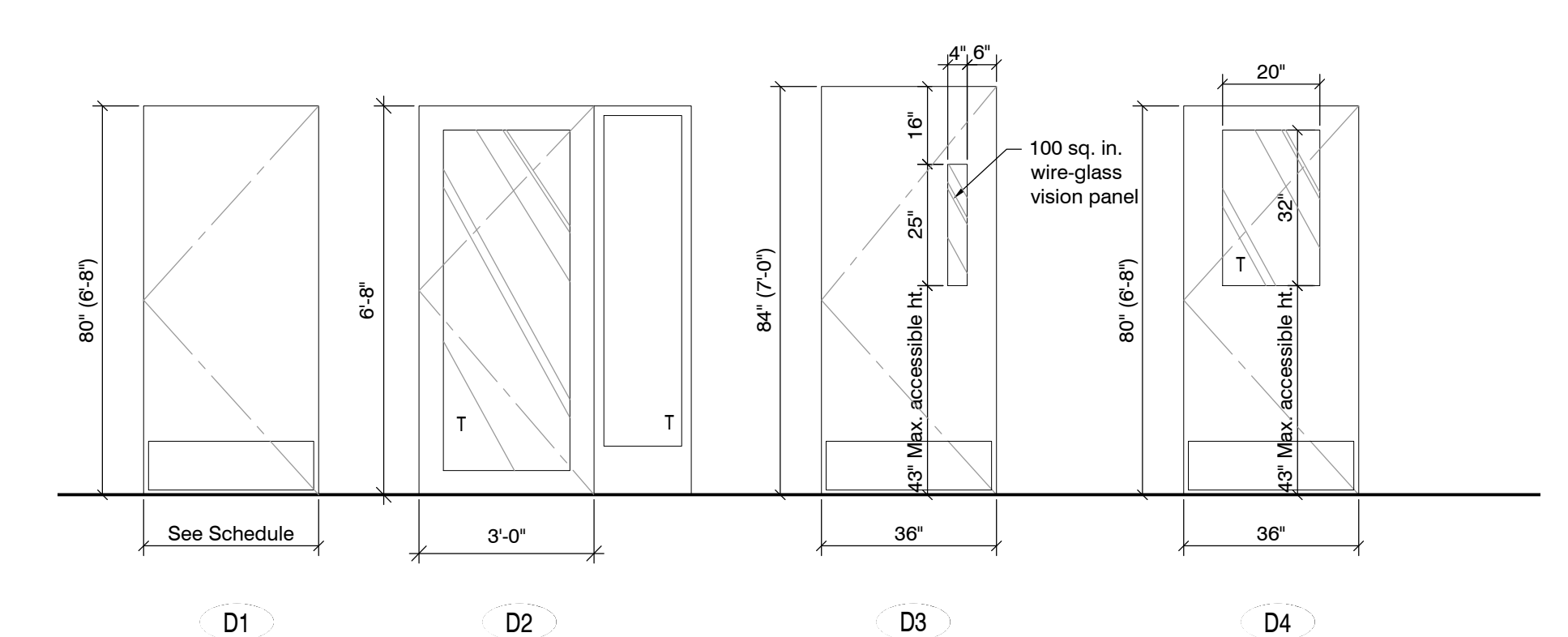
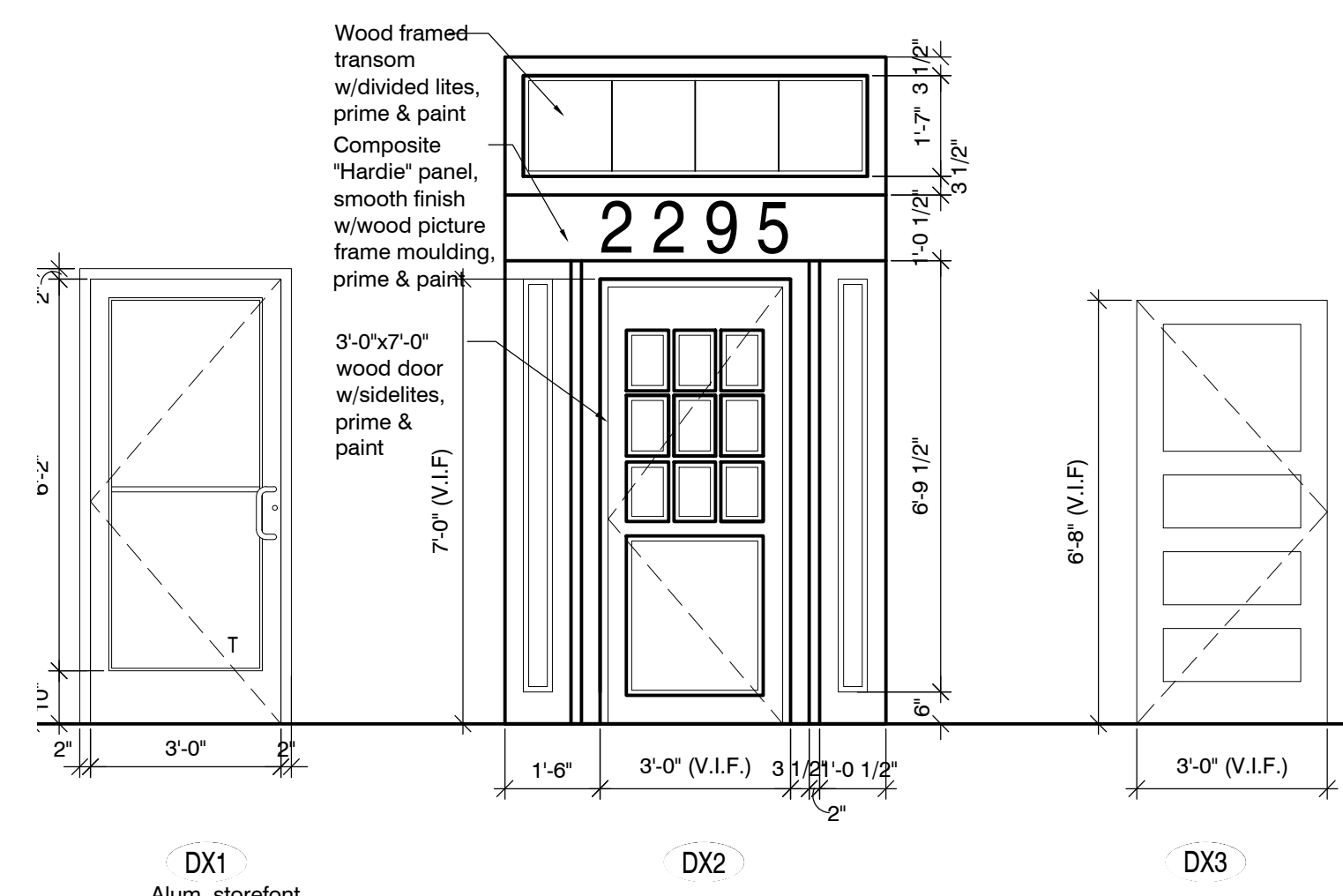
4  
Provide (2) 30" towel bars at each bathroom, typ. See floor plans for locations. Provide blocking at walls where accessory mounting is required



**Interior Elevation - Bathroom Unit 101**

1  
A6.2 Scale: 3/8" = 1'-0"

DOOR TYPES



DOOR SCHEDULE: BUILDING

DOOR Number	Location	Size	Type	Material	Finish	Hdware	Fire Rating	FRAME		
								Type	Finish	Remarks
001.1	Laundry	3'-0" x 7'-0" x 1 3/4"	D2	H.M.	Paint	23A		H.M.	Paint	
002.1	Leasing	3'-0" x 7'-0" x 1 3/4"	D2	H.M.	Paint	23A		H.M.	Paint	
003.1	Leasing Manager	2'-10" x 7'-0" x 1 3/4"	D4	H.M.	Paint	22A		H.M.	Paint	
004.1	Crawl Space Water Meter	3'-0" x 7'-0" x 1 3/4"	D1	H.M.	Paint	23B		H.M.	Paint	
005.1	Multi-Purpose Room	3'-0" x 7'-0" x 1 3/4"	D2	H.M.	Paint	23C		H.M.	Paint	
006.1	Unisex Toilet	3'-0" x 7'-0" x 1 3/4"	D1	S.C. Wd.	Paint	32		Rediframe	Paint	
007.1	Unisex Toilet	3'-0" x 7'-0" x 1 3/4"	D1	S.C. Wd.	Paint	32		Rediframe	Paint	
009.1	Storage	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
010.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Prefin.	M.O.
010.2	Stair	3'-0" x 7'-0" x 1 3/4"	DX3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Prefin.	M.O.
011.1	Bike Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
012.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
013.1	Electrical	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	45 Min.	H.M.	Paint	
013.2	Fire Riser Room	3'-6" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	45 Min.	H.M.	Paint	
014.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
015.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
016.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
017.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
018.1	Storage	3'-4" x 7'-0" x 1 3/4"	D3	H.M.	Paint	33	20 Min.	H.M.	Paint	
018.2	Mechanical Closet Unit 109	(2) 2'-6" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	13	20 Min.	Rediframe	Prefin.	Wood casing
019.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
020.1	Elevator Equipment Room	2'-6" x 7'-0" x 1 3/4"	D1	H.M.	Paint	31	1 1/2 Hr.	H.M.	Paint	
111.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
112.1	Front Entry-Stair	3'-0" x 7'-0" x 1 3/4"	DX2	S.C. Wd.	Paint	21	20 Min.	Wood/Composite	Paint	M.O.
113.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
113.2	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
114.1	Grade Entry	3'-0" x 7'-0" x 1 3/4"	DX1	Alum.	Anod.	23A		Alum. Storefront	Anod.	M.O.
114.2	Lift	3'-0" x 7'-0" x 1 3/4"	D4	H.M.	Paint	30	1 1/2 Hr.	H.M.	Paint	
114.3	Lift	3'-0" x 7'-0" x 1 3/4"	D4	H.M.	Paint	30	1 1/2 Hr.	H.M.	Paint	
114.4	Lift Entry	3'-0" x 7'-0" x 1 3/4"	D4	H.M.	Paint	30	1 1/2 Hr.	H.M.	Paint	
211.1-411.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
212.1-412.1	Stair	3'-0" x 7'-0" x 1 3/4"	D3	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.
300.1	Electrical panel/chase	3'-6" x 7'-0" x 1 3/4"	D1	H.M.	Paint	21	1 1/2 Hr.	H.M.	Paint	M.O.

DOOR SCHEDULE: RESIDENTIAL UNITS

NUMBER	Location	Size	Type	Material	Finish	Hdware	Fire Rating	FRAME		
								Type	Finish	Remarks
A	TYPICAL Unit Entry A	3'-0" x 6'-8" x 1 3/4"	DR1	S.C. Wd.	Paint	10	20 Min.	Rediframe	Prefin.	Wood casing
B	TYPICAL Unit Bedroom B	2'-10" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	11		Wd. Prehung	Paint	Wood casing
C2.0	Unit Storage Closet	2'-10" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	12		Wd. Prehung	Paint	Wood casing
C2.1	Unit Coat Closet	2'-0" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	12		Wd. Prehung	Paint	Wood casing
C2.2	Unit Coat Closet	2'-0" x 6'-8" x 1 3/8" Bifold	DR4	S.C. Wd.	Paint	16		None		
C2.3	Unit Coat Closet	2'-6" x 6'-8" x 1 3/8" Bifold	DR4	S.C. Wd.	Paint	16		None		
C3	Unit Bedroom Closet	Pr. 1'-6" x 6'-8" x 1 3/8" Bypass	DR5	S.C. Wd.	Paint	14		None		
C4	Unit Bedroom Closet	Pr. 2'-0" x 6'-8" x 1 3/8" Bypass	DR5	S.C. Wd.	Paint	14		None		
C5	Unit Bedroom Closet	Pr. 2'-6" x 6'-8" x 1 3/8" Bypass	DR5	S.C. Wd.	Paint	14		None		
D	TYPICAL Unit Bathroom	2'-10" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	11		Wd. Prehung	Paint	Wood casing
L1	Unit Linen Closet	1'-6" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	12		Wd. Prehung	Paint	Wood casing
L2	Unit Linen Closet	1'-6" x 6'-8" x 1 3/8" Bifold	DR4	S.C. Wd.	Paint	16		None		
L3	Unit Linen Closet	2'-0" x 6'-8" x 1 3/8"	DR2		Paint	12		Wd. Prehung	Paint	Wood casing
L4	Unit Linen Closet				Paint					
L5	Unit Linen Closet				Paint					
M1	TYPICAL Unit Mech. Closet M1	2'-10" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	13		Rediframe	Prefin.	Wood casing
M2	TYPICAL Unit Mech. Closet M2	(2) 2'-6" x 6'-8" x 1 3/8"	DR2	S.C. Wd.	Paint	13	20 Min.	Rediframe	Prefin.	Wood casing

GENERAL DOOR NOTES

- All doors shall have lever handles (U.O.N.)
- Undercut all Unit Bathroom doors one-half (1/2) inch.
- Verify ALL masonry openings prior to ordering doors
- ALL exterior door hardware shall be rustproof.
- Provide vinyl transition strip at thresholds with dissimilar finish material, U.O.N.
- ALL bifold doors shall be 'Magiglide' as mfr'd by Landquist & Sons, Inc.
- VERIFY all door quantities prior to ordering.
- SEE SHEET A5.1 for details

HARDWARE SETS

- UNIT ENTRY
  - (2) Hinges (1) Ea. Wall Stop
  - (1) Spring Hinge (1) Set Smoke Seals
  - (1) Keyed entrance lockset (1) Ea. Door sweep w/ simultaneous retracting deadbolt
  - (1) Knocker/viewer
- UNIT BEDROOM / BATHROOM
  - (3) Ea. Hinges
  - (1) Ea. Privacy Lock
  - (1) Ea. Door mtd. spring stop
- UNIT REACH-IN CLOSET
  - (3) Ea. Hinges
  - (1) Ea. Passage Lock
  - (1) Ea. Door mtd. spring stop
- UNIT MECH. CLOSET
  - (3) Ea. Hinges
  - (1) Ea. Dead bolt; keyed outside, thumb turn inside
- UNIT BY-PASS CLOSET (Johnson Hdwre 138F or 138 FSM or sim.)
  - (1) Track; single extrusion twin box rail fascia, mill finish
  - (4) Soft-close/open kits
  - (4) Door plates
  - (1) Door stop
  - (2) Flush pulls; satin nickel
- UNIT PIVOT CLOSET (Landquist & Son, Inc. Magiglide series)
  - (1) Alum. track; mill finish
  - (2) Pivot bracket (top & bottom)
  - (1) Magnetic catch
  - (1) Floor plate assembly
  - (1) Vinyl coated wire pull
- UNIT BEDROOM / BATHROOM
  - (4) Mortised Piano at pair of bifold or
  - (2) Mortised Piano at single bifold, Mfr's standard, Finish #US26D (Satin St. Steel)
- UNIT REACH-IN CLOSET
  - (1) Landquist & Son, Inc. Magiglide series including Track, Pivots, Hangers with Heavy Duty Nylon Rollers, Jamb Brackets, Stops, Vinyl-Coated Wire Pulls, and Aligners
- UNIT MECH. CLOSET
  - (1) Mounting Track (rail)
  - (2) Top mount rollers (hangers) standard, Finish #US26D (Satin St. Steel)
  - (1) Door stop
  - (1) Set floor guides
  - (1) Set anti-jump blocks
  - (1) Set wall spacers
  - (1) Wire pull, #US26D
- EXTERIOR EXIT STAIR, SINGLE DOOR
  - (3) Ea. NRP Hinges (1) Set Weatherstripping
  - (1) Ea. Panic Device (1) Ea. Door sweep
  - (1) Ea. Exterior Key Cylinder (1) Ea. Threshold
  - (1) Ea. Surface Closer
  - (1) Ea. Kickplate
- EXTERIOR BUILDING UTILITY SINGLE DOOR
  - (3) Ea. NRP Hinges (1) Set Weatherstripping
  - (1) Ea. Storeroom Lock (1) Ea. Door sweep
  - (1) Ea. Keyed Deadbolt (1) Ea. Threshold
  - (1) Ea. Surface Closer
- EXT. BUILDING ENTRY/EXIT SINGLE DOOR - STOREFRONT
  - (2) Ea. Offset pivots (1) Set Weatherstripping
  - (1) Ea. Panic Device (1) Ea. Door sweep
  - (1) Ea. Exterior Key Cylinder (1) Ea. Threshold
  - (1) Ea. Surface Closer
- EXIT STAIR, (INTERIOR)
  - (3) Ea. Hinges (1) Ea. Wall Stop
  - (1) Ea. Fire Exit Device (1) Set Smoke Seals
  - (1) Ea. Surface Closer (1) Ea. Door sweep
  - (1) Ea. Kickplate
- MECHANICAL
  - (3) Ea. Hinges (1) Set Smoke Seals
  - (1) Ea. Storeroom Lock (1) Ea. Door sweep
  - (1) Ea. Surface Closer
- BATHROOM/SINGLE OCCUPANCY
  - (3) Ea. Hinges (1) Ea. Wall Stop
  - (1) Ea. Privacy Set
  - (1) Ea. Surface Closer
- PUBLIC ACCESS
  - (3) Ea. Hinges (1) Ea. Wall Stop
  - (1) Ea. Classroom Lock (1) Set Smoke Seals
  - (1) Ea. Surface Closer (1) Ea. Door sweep
  - (1) Ea. Kickplate



419 E. 4th Street  
Royal Oak, Michigan 48067

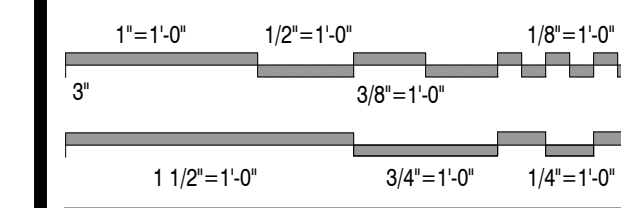
248.629.7153 ph.



104 W. Fourth St., Suite 303  
Royal Oak, MI 48067

Owner  
DEVELOP DETROIT  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project  
Apartment Renovation  
LINWOOD APARTMENTS  
2295 W Grand Blvd  
Detroit, MI 48208



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permit	09.10.2024
Revised Bids & Permits	06.11.2025
MSHDA Revisions	04.10.2026

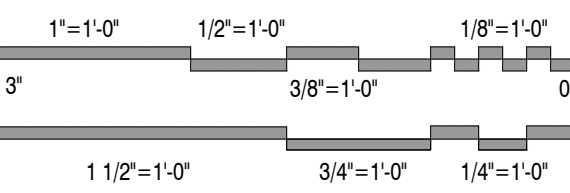
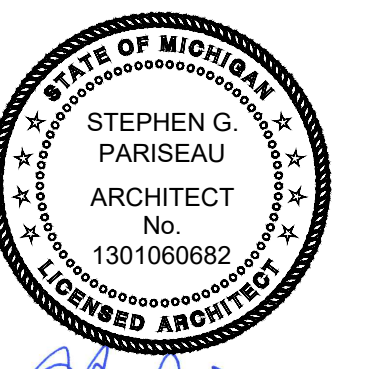
Drawing Title  
Door Schedule

2021-248  
Project No.  
JMH GGP  
Drawn By Checked By

As Noted  
Scale  
A7.1  
Drawing No.

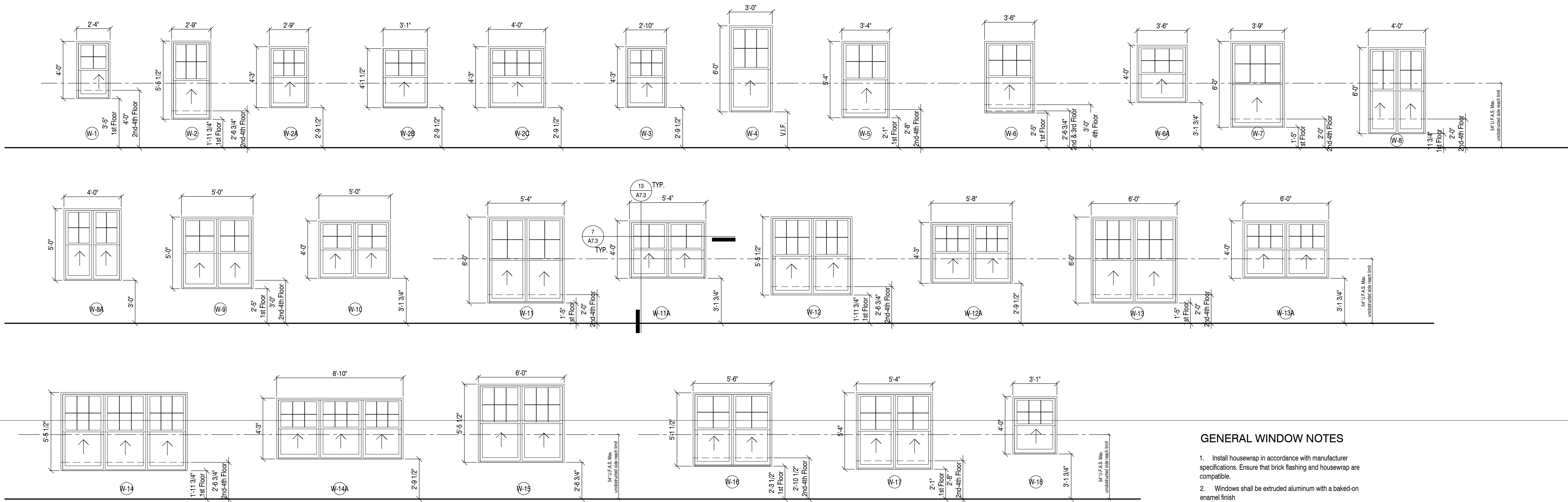
WINDOW SCHEDULE: RESIDENTIAL

Type	Quantity
W-1	21
W-2	24
W-2A	4
W-2B	1
W-2C	1
W-3	2
W-4	23
W-5	9
W-6	25
W-6A	5
W-7	16
W-8	9
W-8A	3
W-9	8
W-10	1
W-11	24
W-11A	3
W-12	8
W-12A	2
W-13	10
W-13A	2
W-14	6
W-14A	2
W-15	3
W-16	3
W-17	17
W-18	4
TOTAL	236



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

WINDOW TYPES



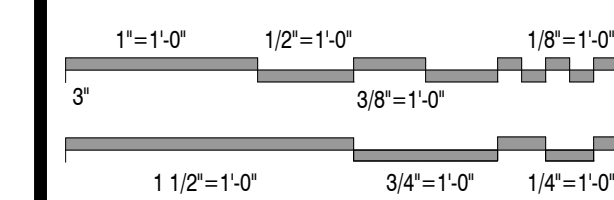
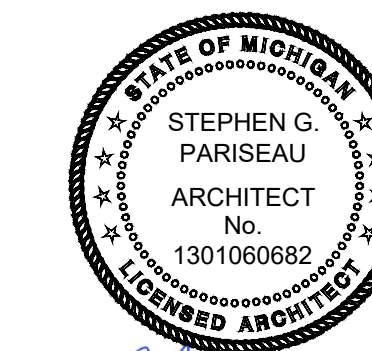
GENERAL WINDOW NOTES

1. Install housewrap in accordance with manufacturer specifications. Ensure that brick flashing and housewrap are compatible.
2. Windows shall be extruded aluminum with a baked-on enamel finish.
3. 'T' denotes a tempered lite.
4. 'LM' denotes a laminated lite.
5. Refer to Sht. A7.3 for typical window heads and sills.
6. Fenestration Performance Requirements:  
U-Factor: 0.31. SHGC: 0.3

Drawing Title  
**Window Schedule**

2021-248	Project No.
JMH	SGP
As Noted	Checked By
Scale	

**A7.2**  
Drawing No.



Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024

Drawing Title

**Door & Window  
Details**

2021-248

Project No.

JMH

Drawn By

As Noted

Scale

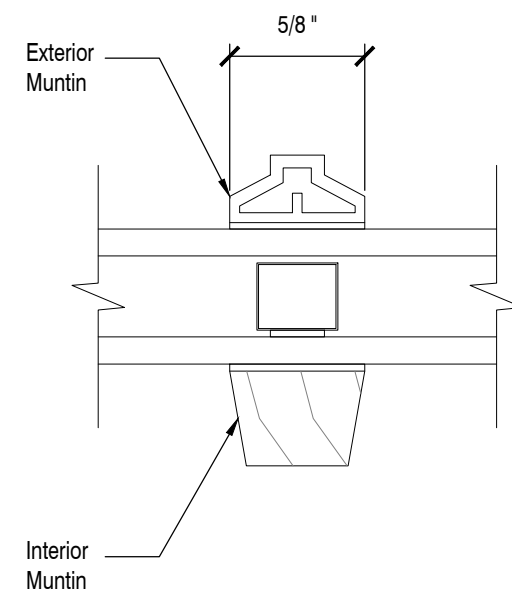
SGP

Checked By

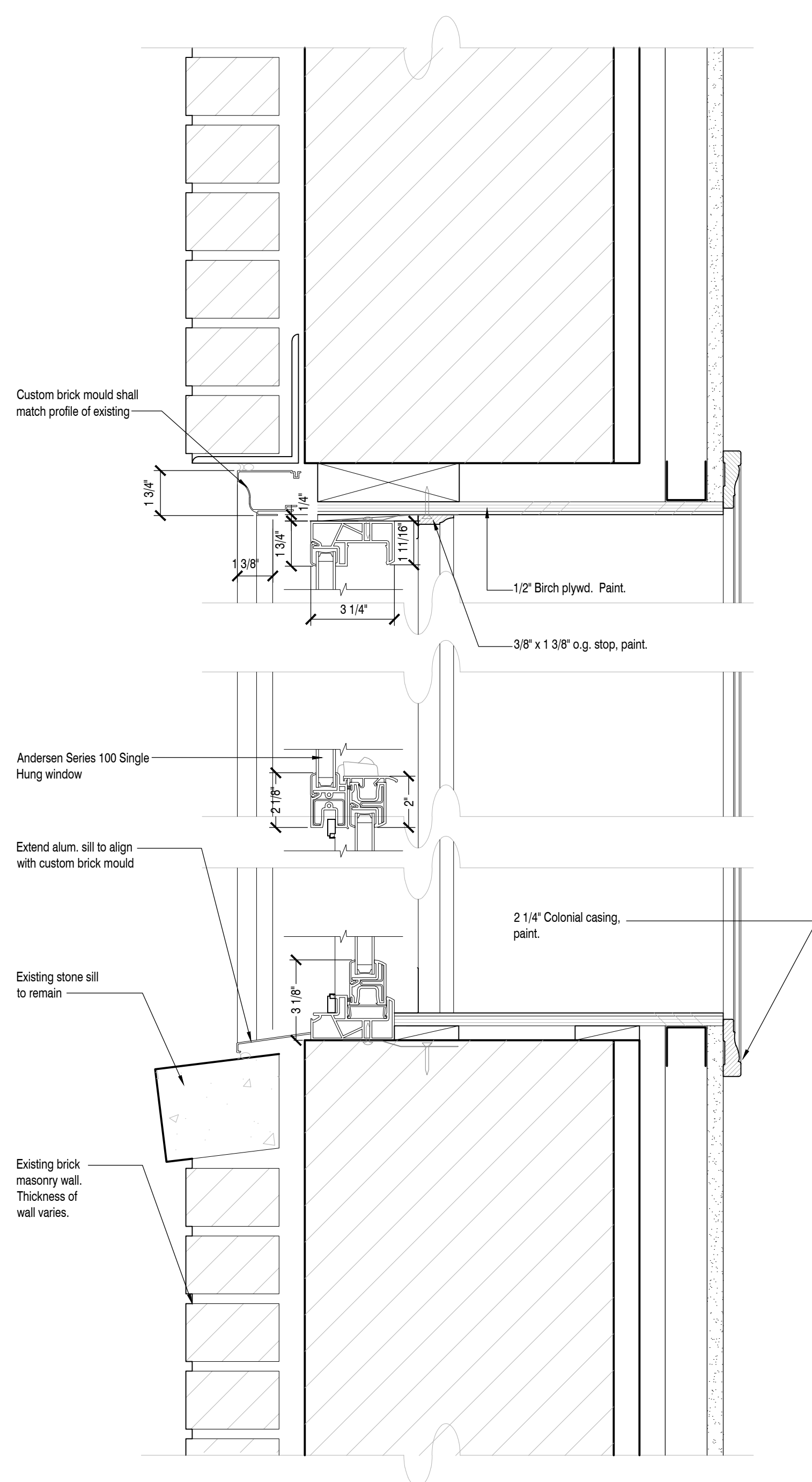
Scale

**A7.3**

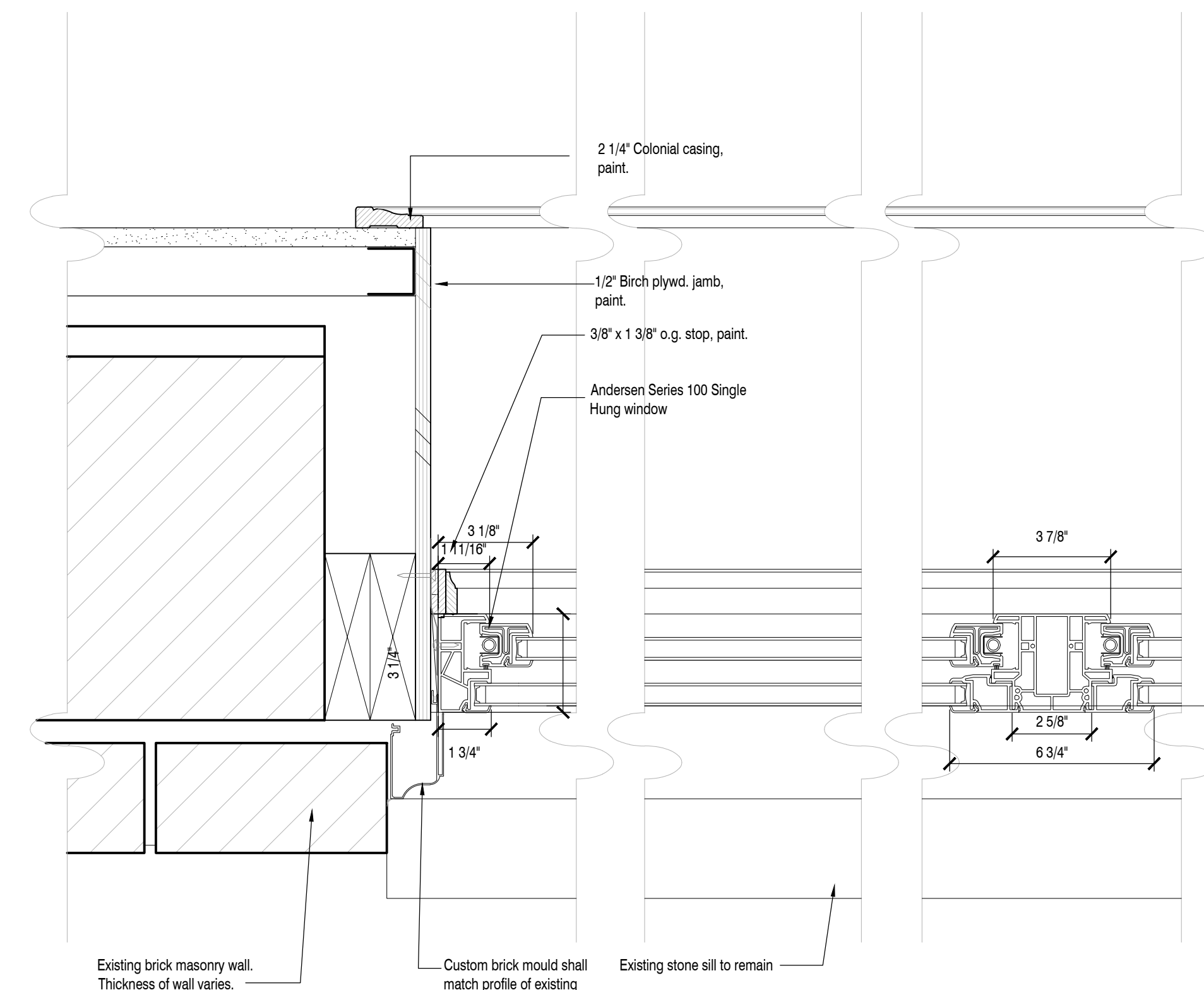
Drawing No.



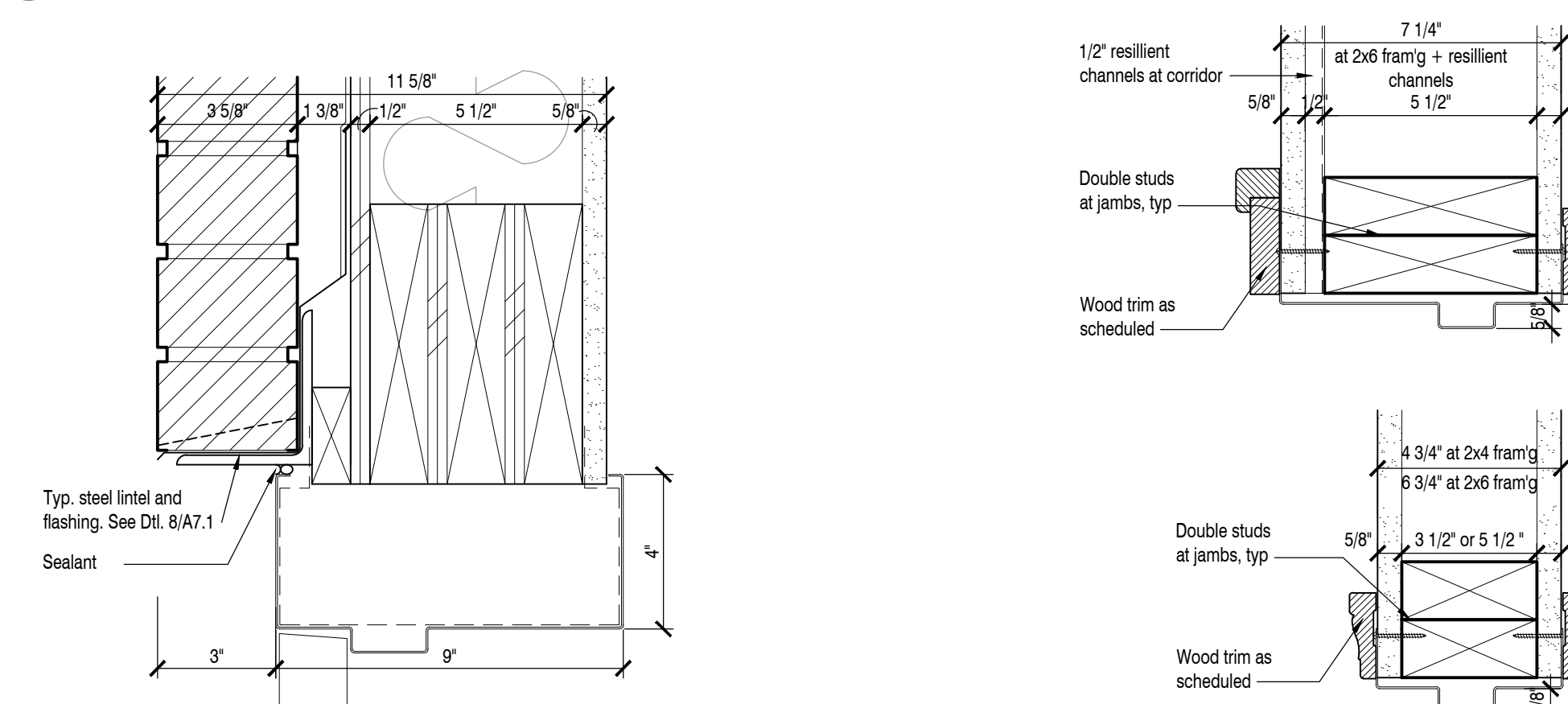
12 5/8" Int. Contemporary, Est. Chamfer Full Divided Light  
A7.3 Scale: N.T.S.



13 Single Hung Window Head/Sill Detail  
A7.3 Scale: 3" = 1'-0"

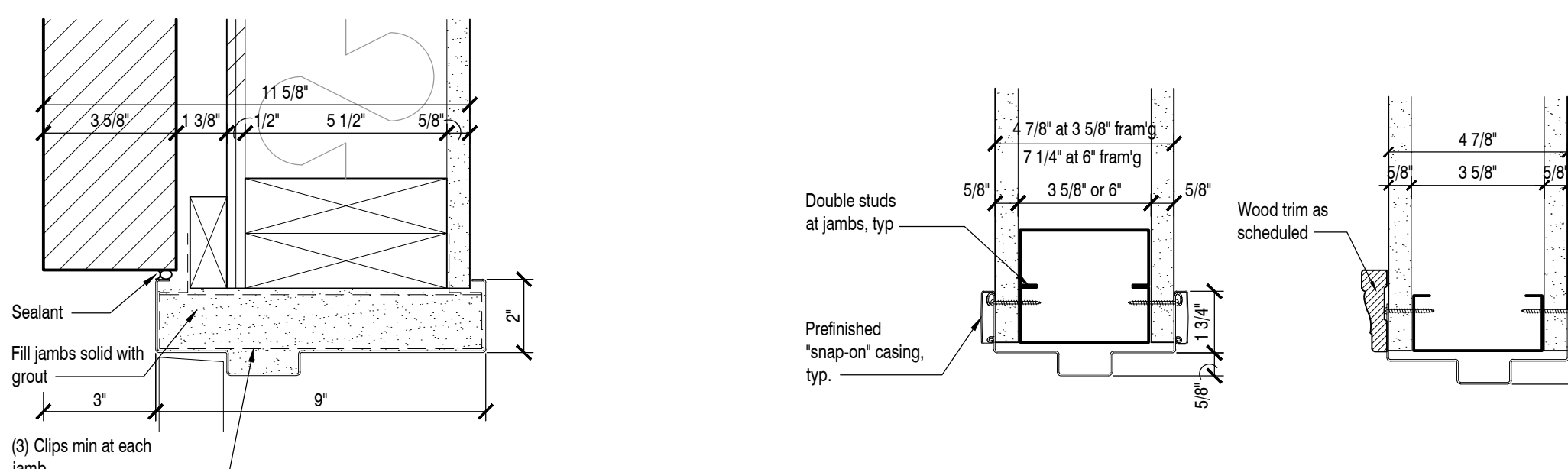


7 Single Hung Window Jamb Detail Above Check Rail  
A7.3 Scale: 3" = 1'-0"



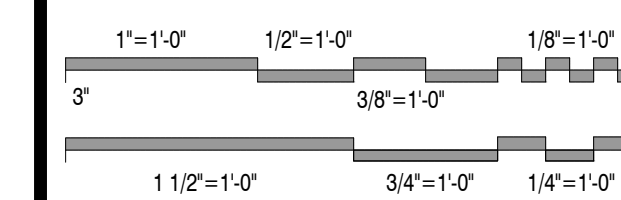
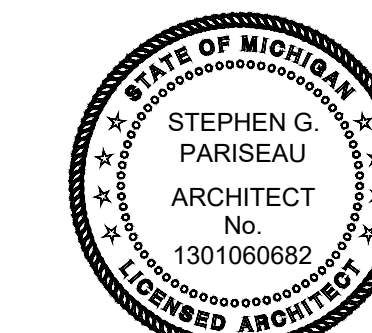
6 H.M. Door Head  
A7.3 Scale: 3" = 1'-0"

2 Rediframe Door Head/Jamb  
A7.3 Scale: 3" = 1'-0"



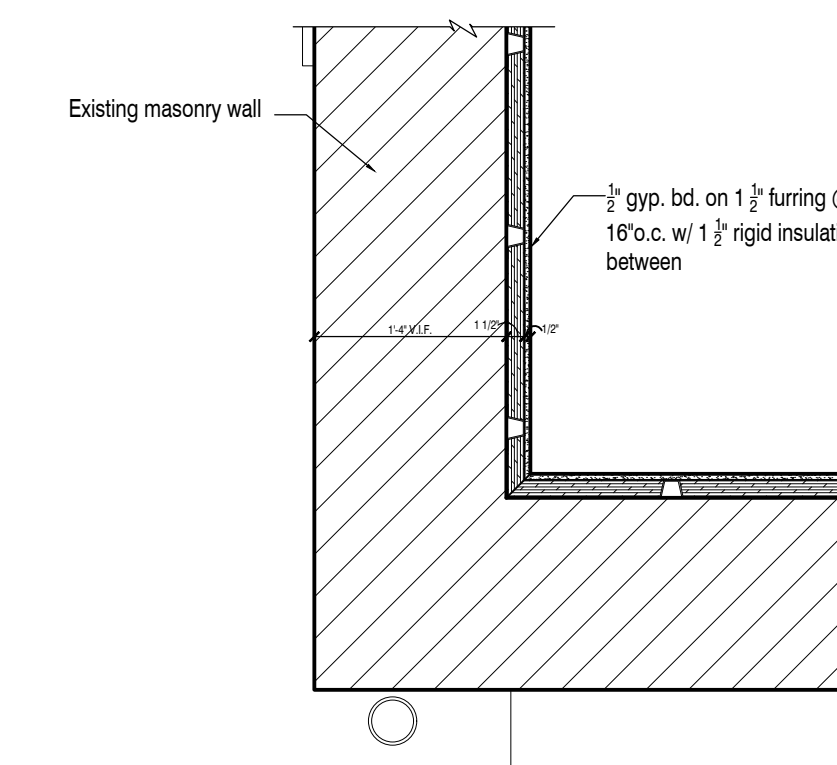
5 H.M. Door Jamb  
A7.3 Scale: 3" = 1'-0"

1 Rediframe Door Head/Jamb  
A7.3 Scale: 3" = 1'-0"



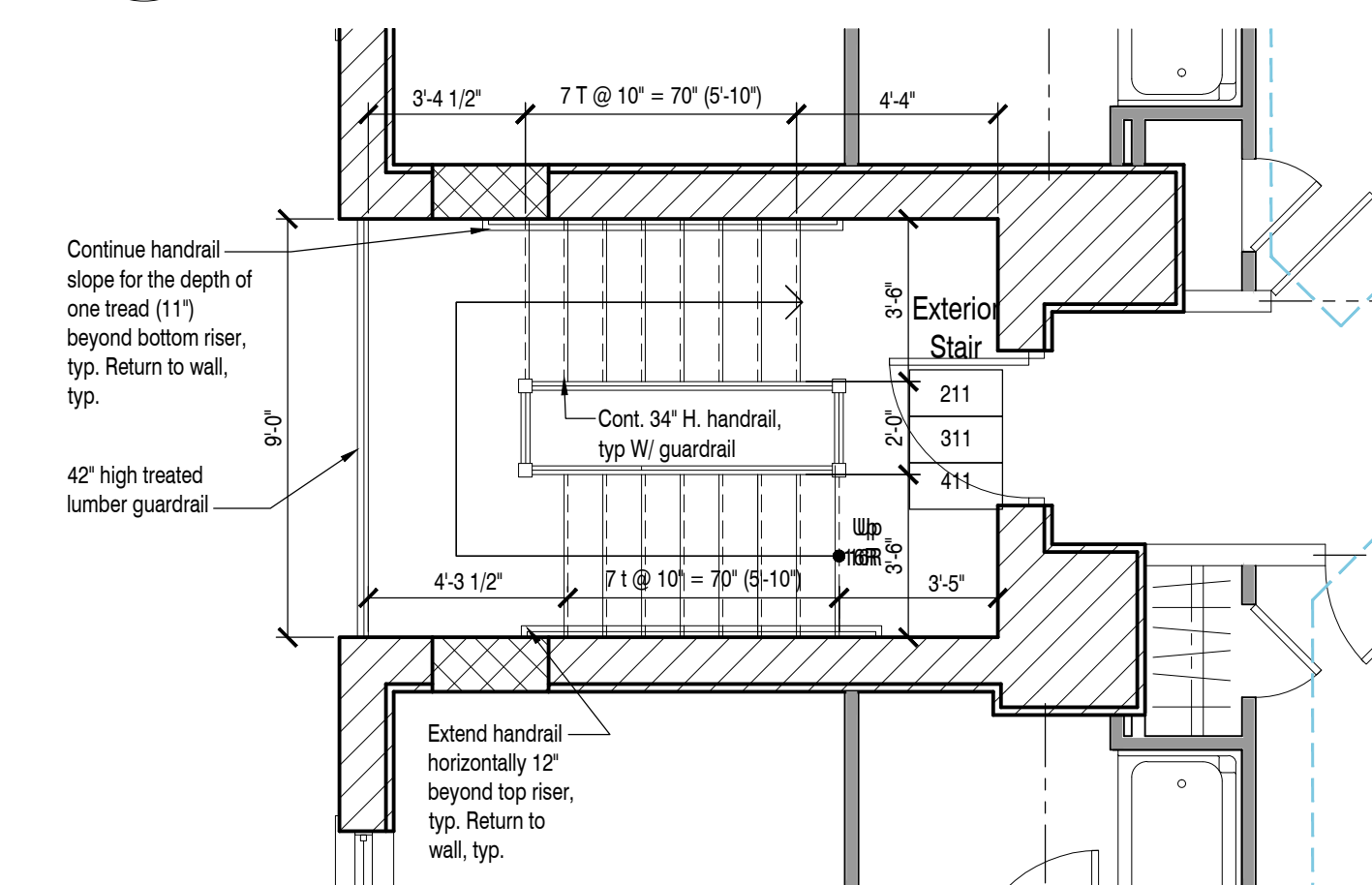
Issued For	Date
Bids & Permits	08.12.2024
Revised Bids & Permits	09.10.2024
MSHDA Revisions	04.10.2026

**Stair Plans,  
Stair Sections  
& Stair Details**



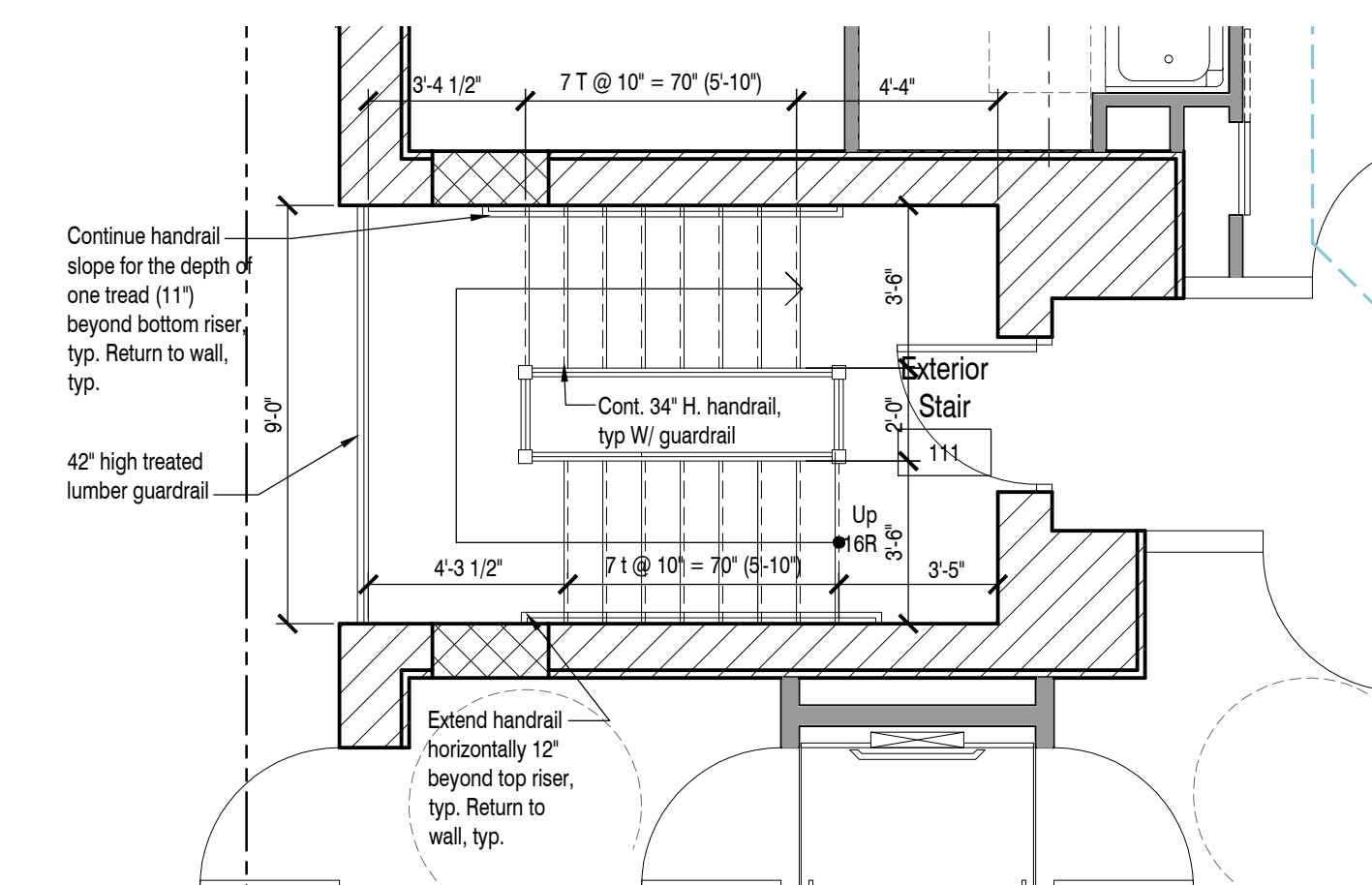
4 Typ. Existing Wall Furring Detail

A8.1 Scale: 3/4" = 1'-0"



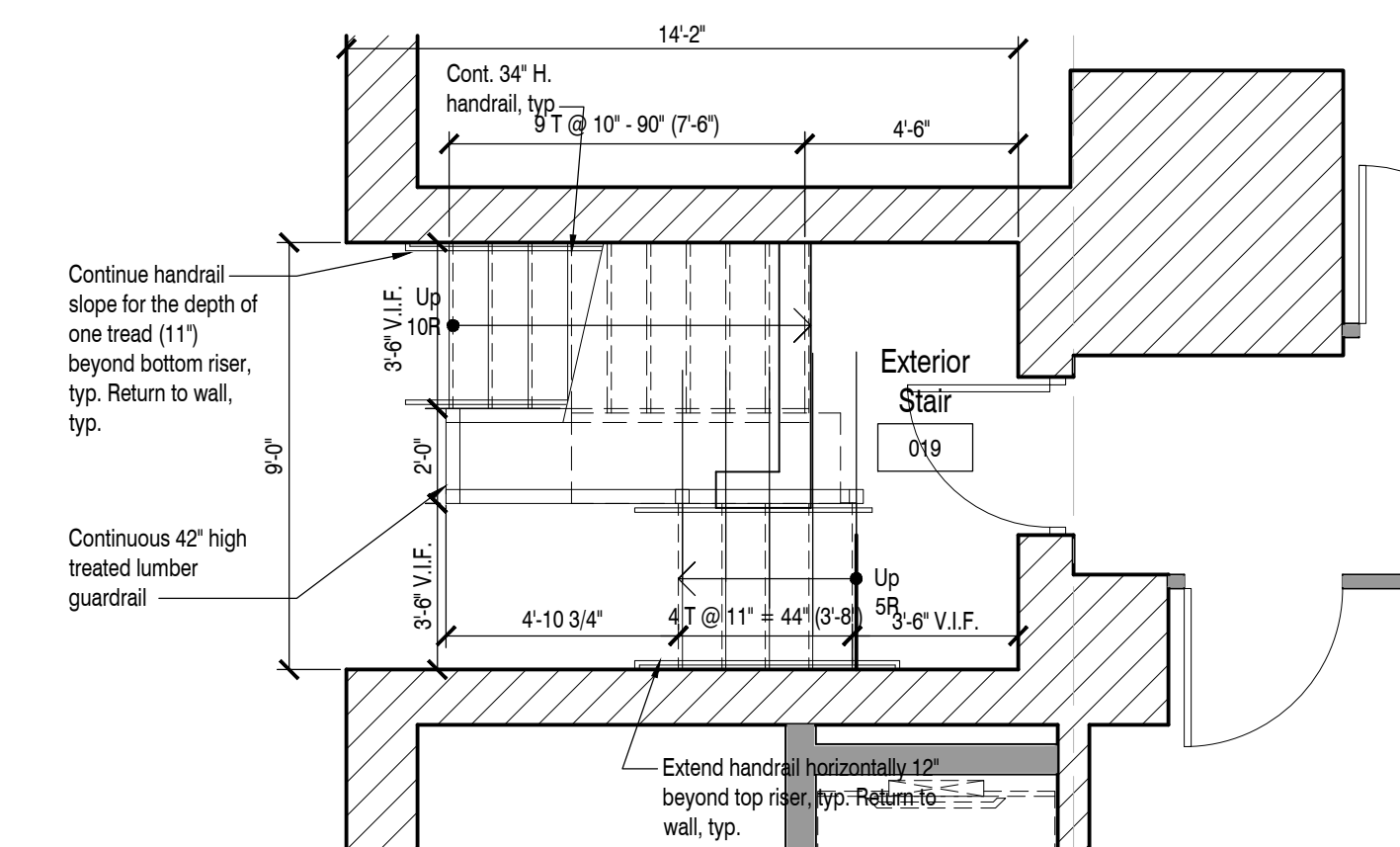
3 Plan: Exterior Stair- 2nd-4th Floor

A8.1 Scale: 1/4" = 1'-0"



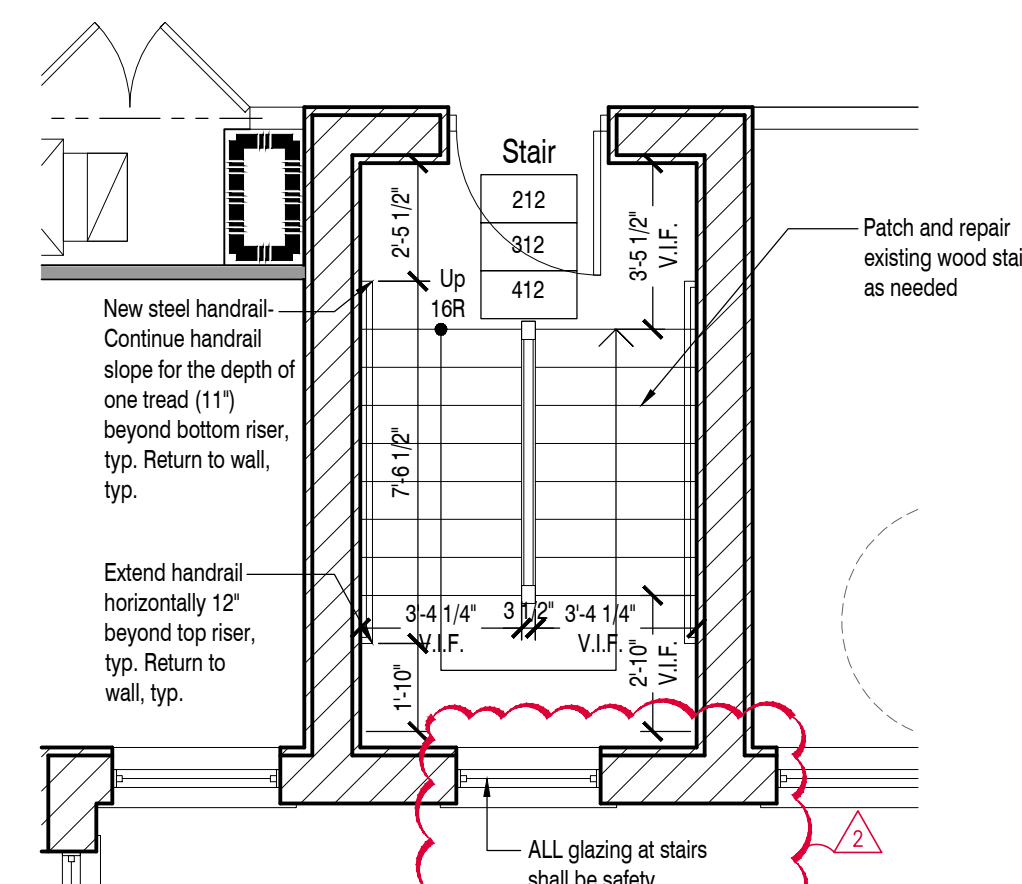
2 Plan: Exterior Stair- First Floor

A8.1 Scale: 1/4" = 1'-0"



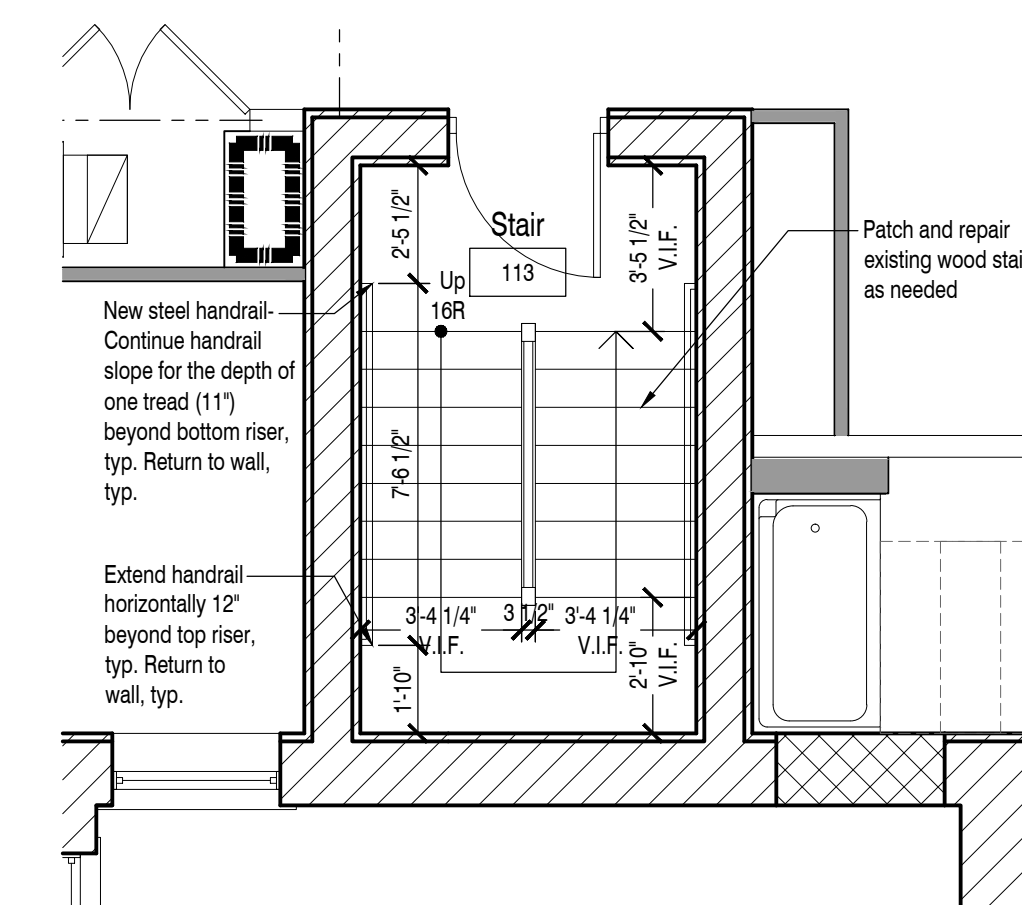
1 Plan: Exterior Stair- Basement

A8.1 Scale: 1/4" = 1'-0"



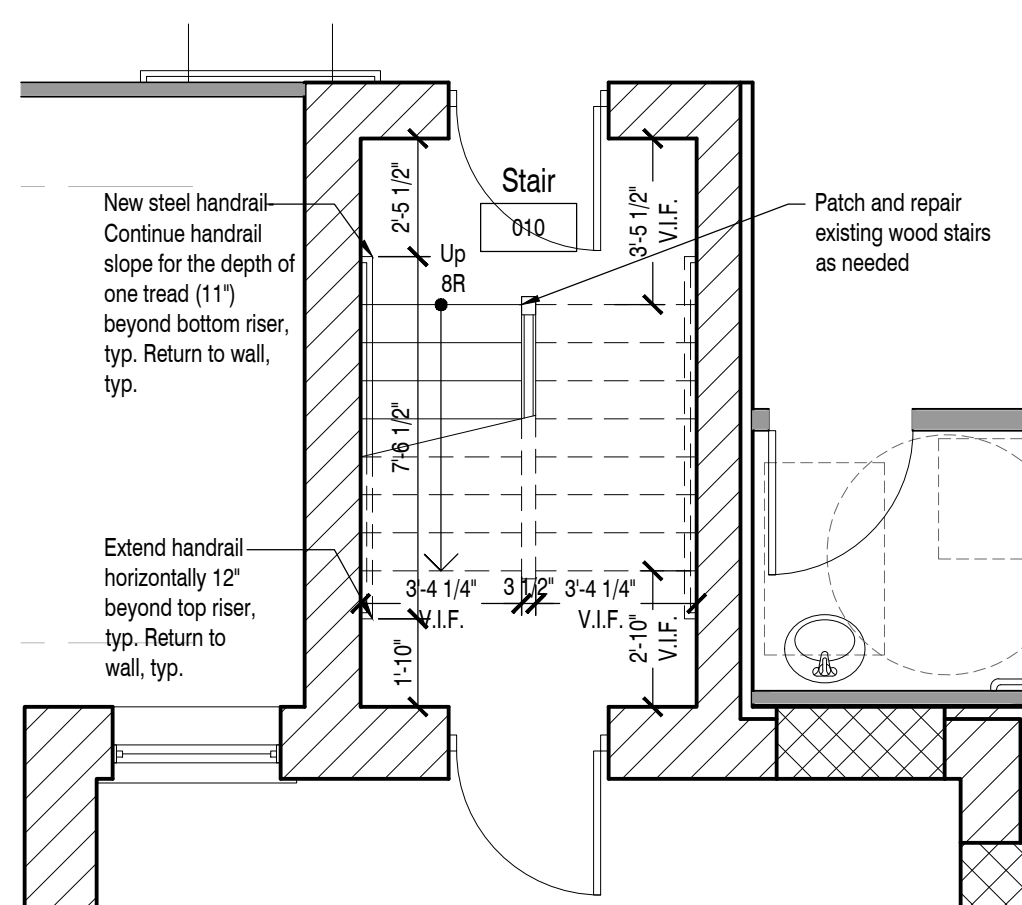
19 Plan: Interior Stair- 2nd-4th Floor

A8.1 Scale: 1/4" = 1'-0"



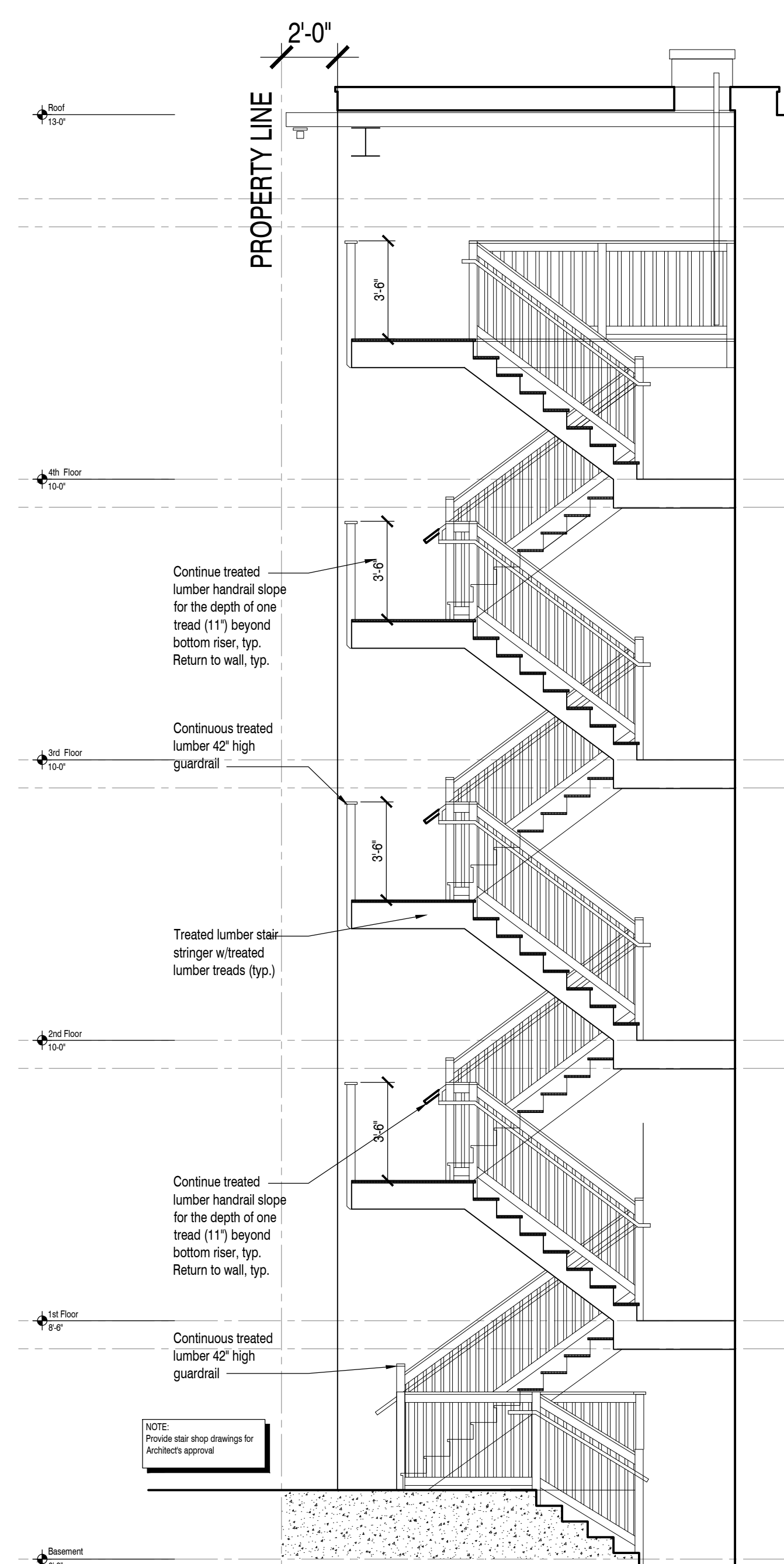
18 Plan: Interior Stair- First Floor

A8.1 Scale: 1/4" = 1'-0"



17 Plan: Interior Stair- Basement

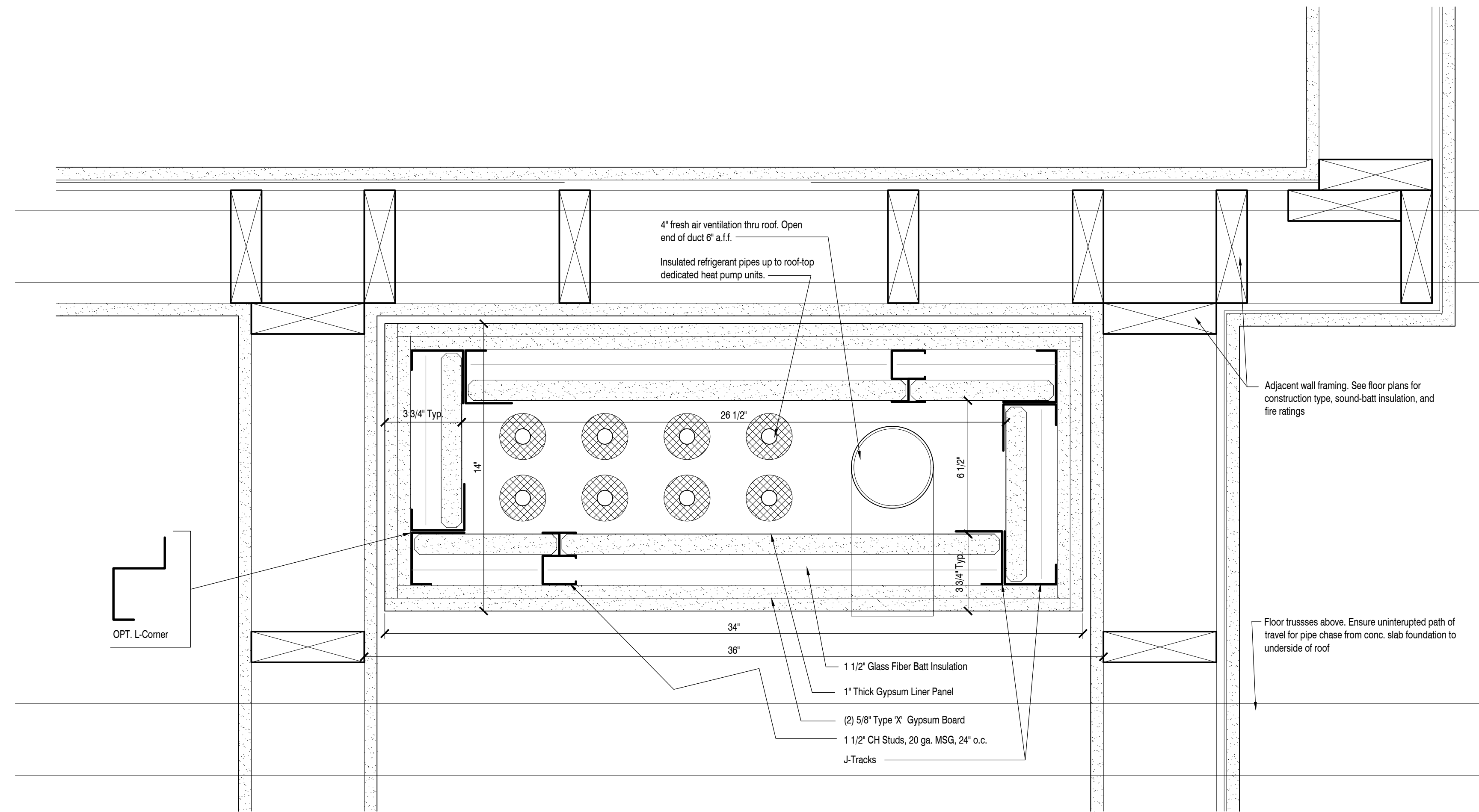
A8.1 Scale: 1/4" = 1'-0"



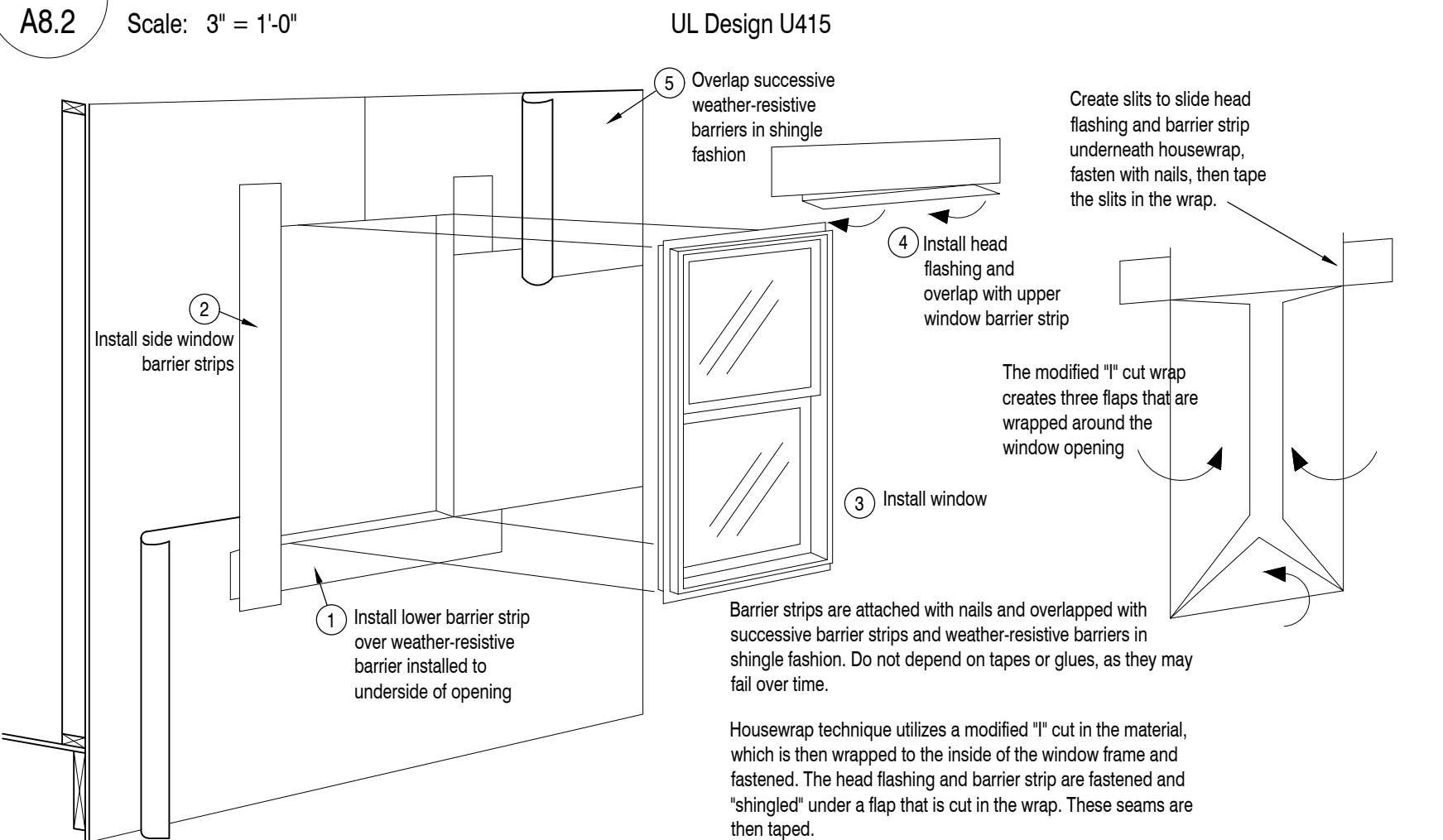
9 Section: Exterior Stair- Basement- 4th Floor

A8.1 Scale: 1/4" = 1'-0"

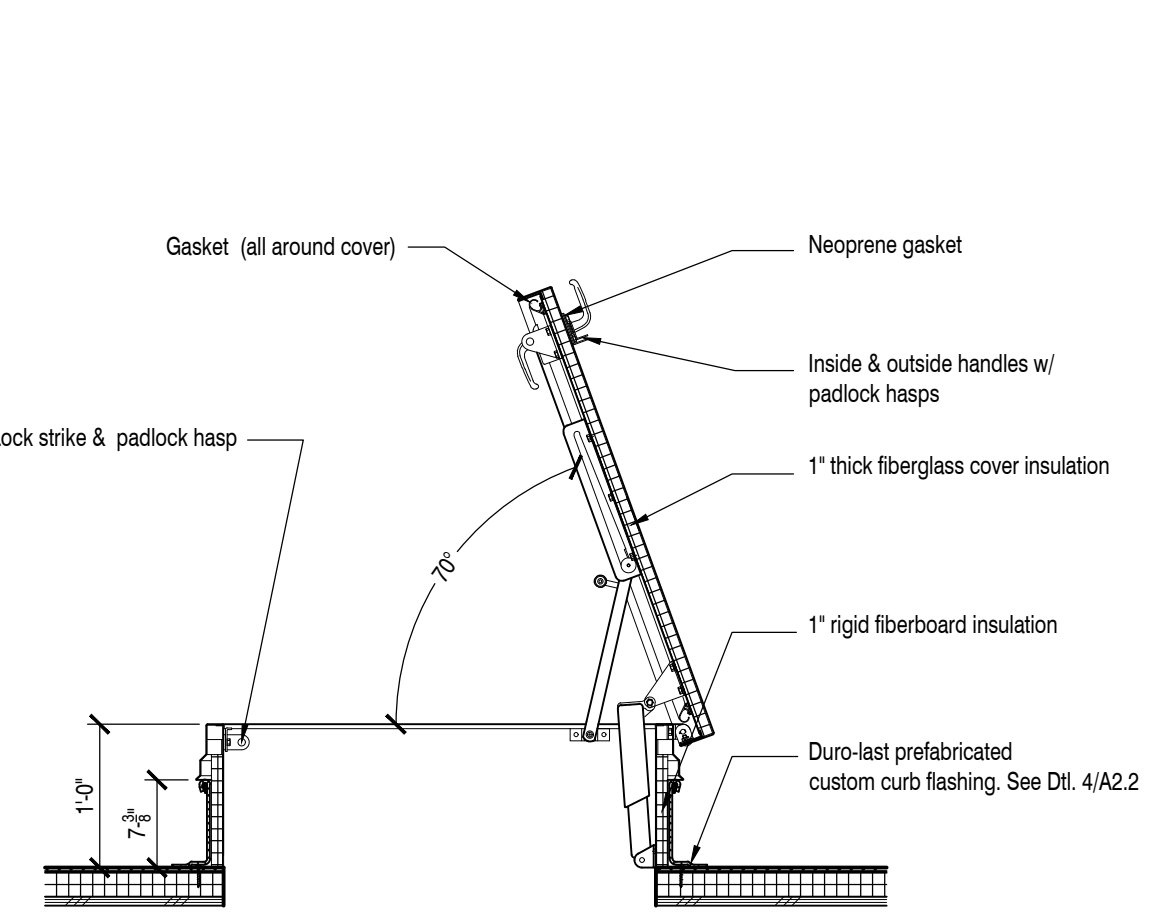
A8.1



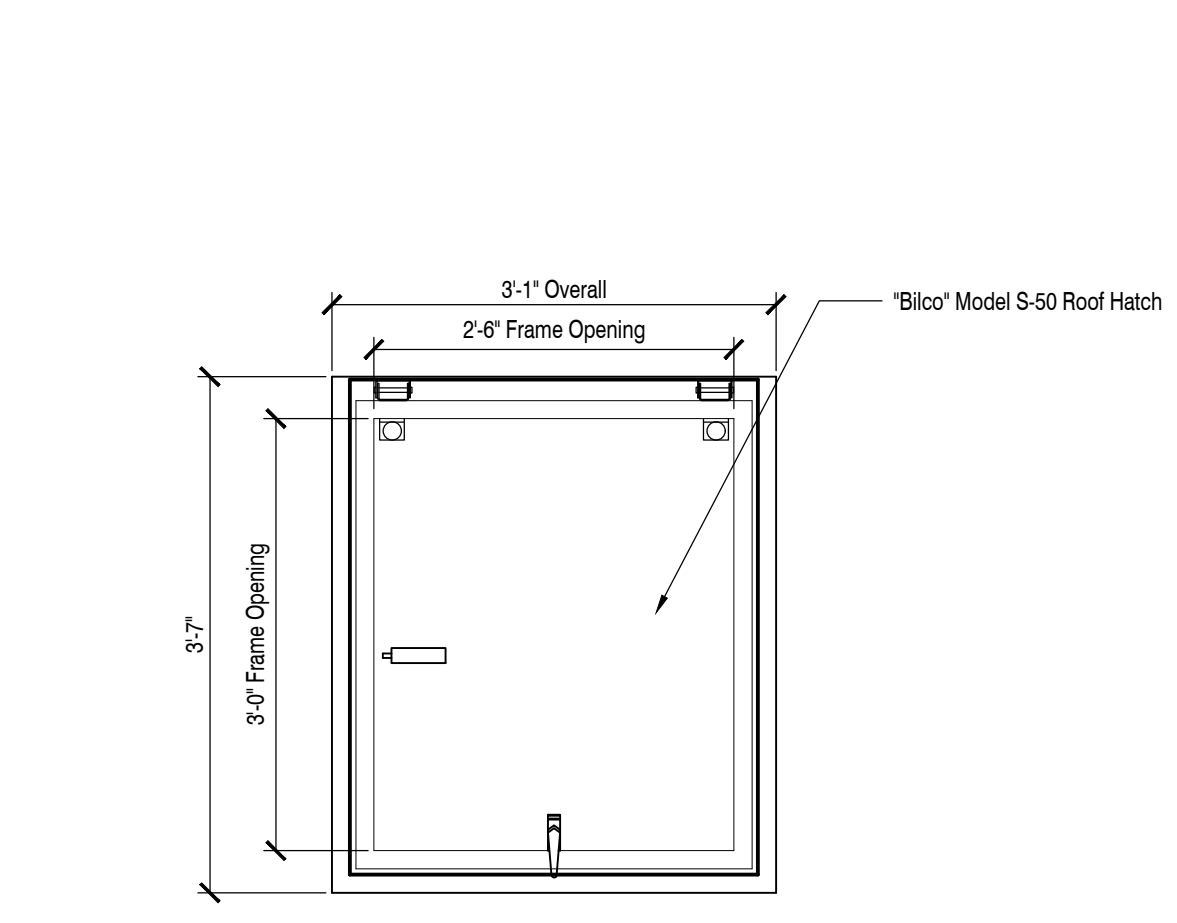
12 2-Hour Shaftwall Plan for Pipe Chase Connecting Four Stories or More per MBC Sect. 713.4  
A8.2 Scale: 3' = 1'-0"



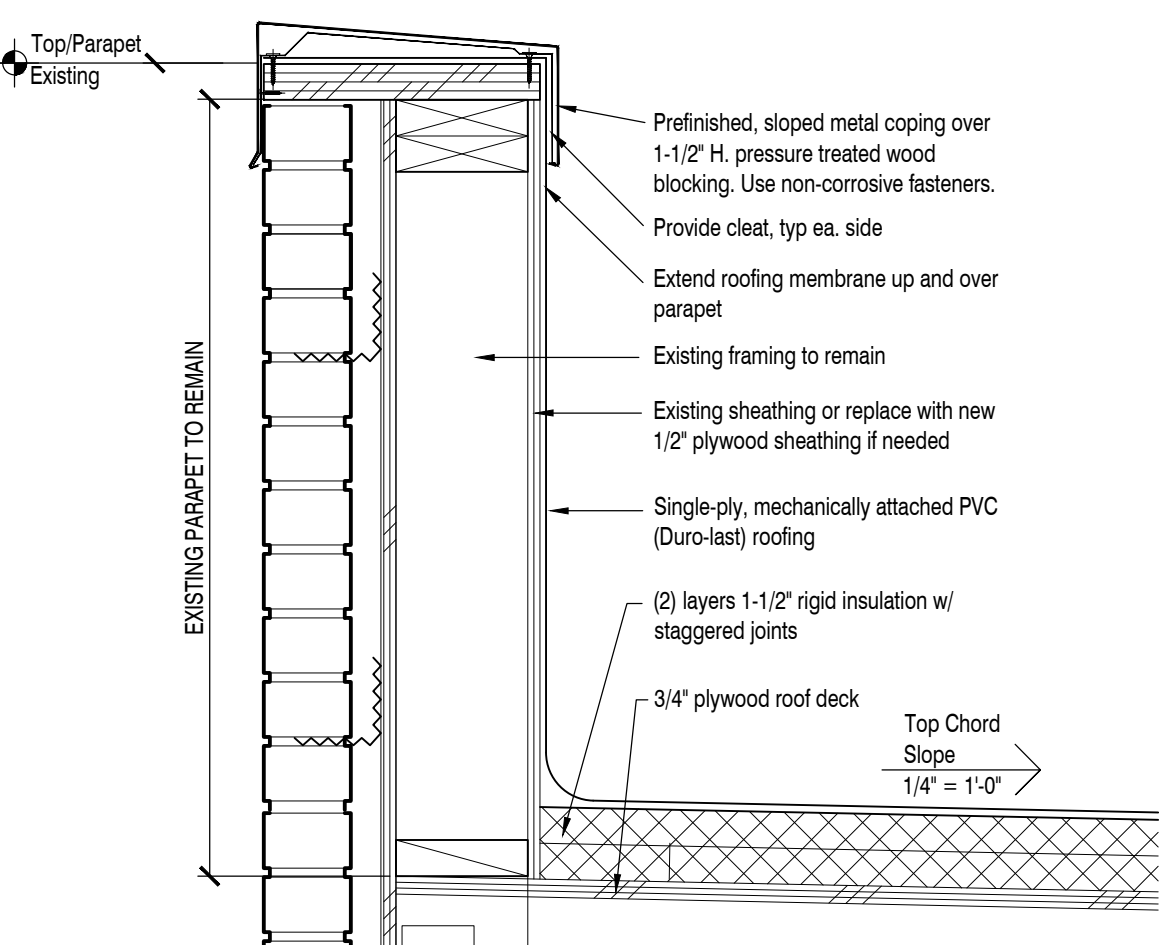
14 General Window Housewrap Flashing Detail  
A8.2 Scale: N.T.S.



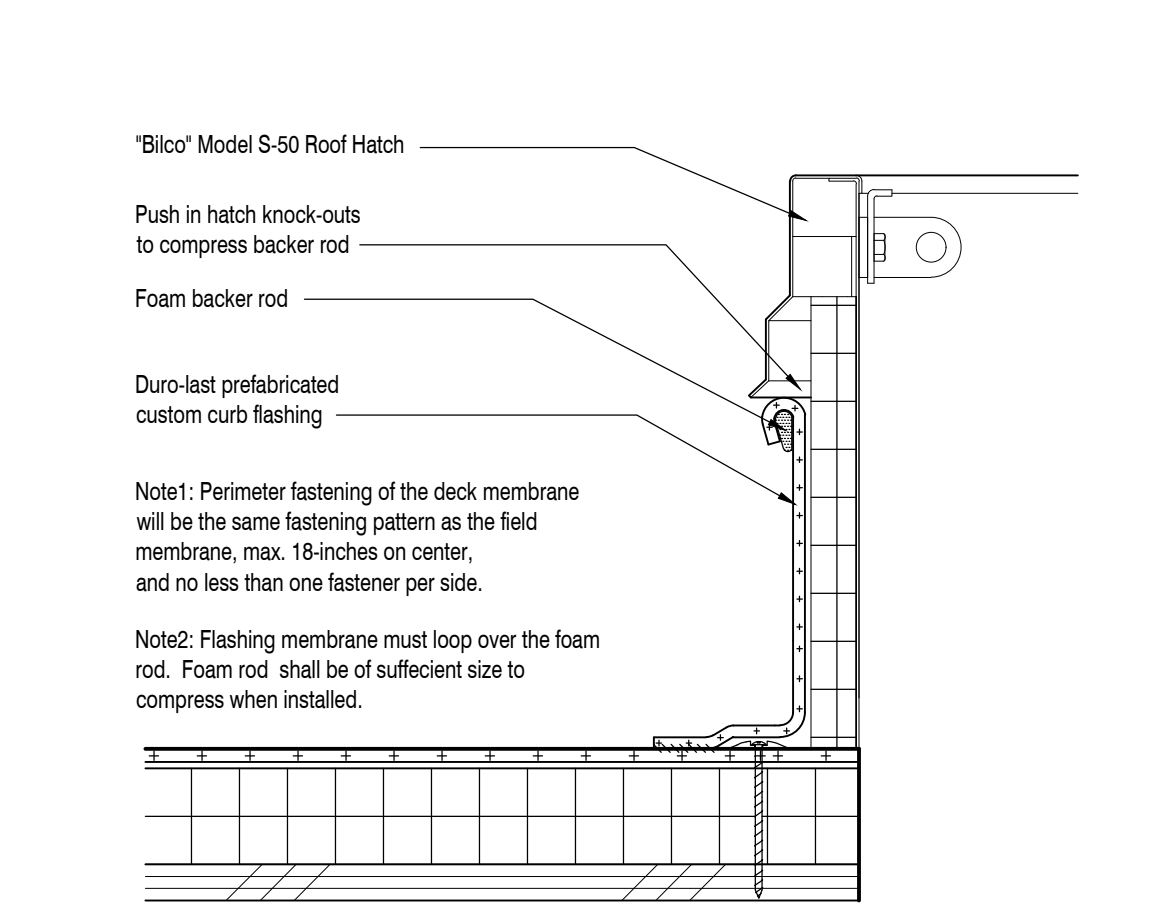
17 Roof Access Hatch - Section  
A8.2 Scale: 3/4\"/>



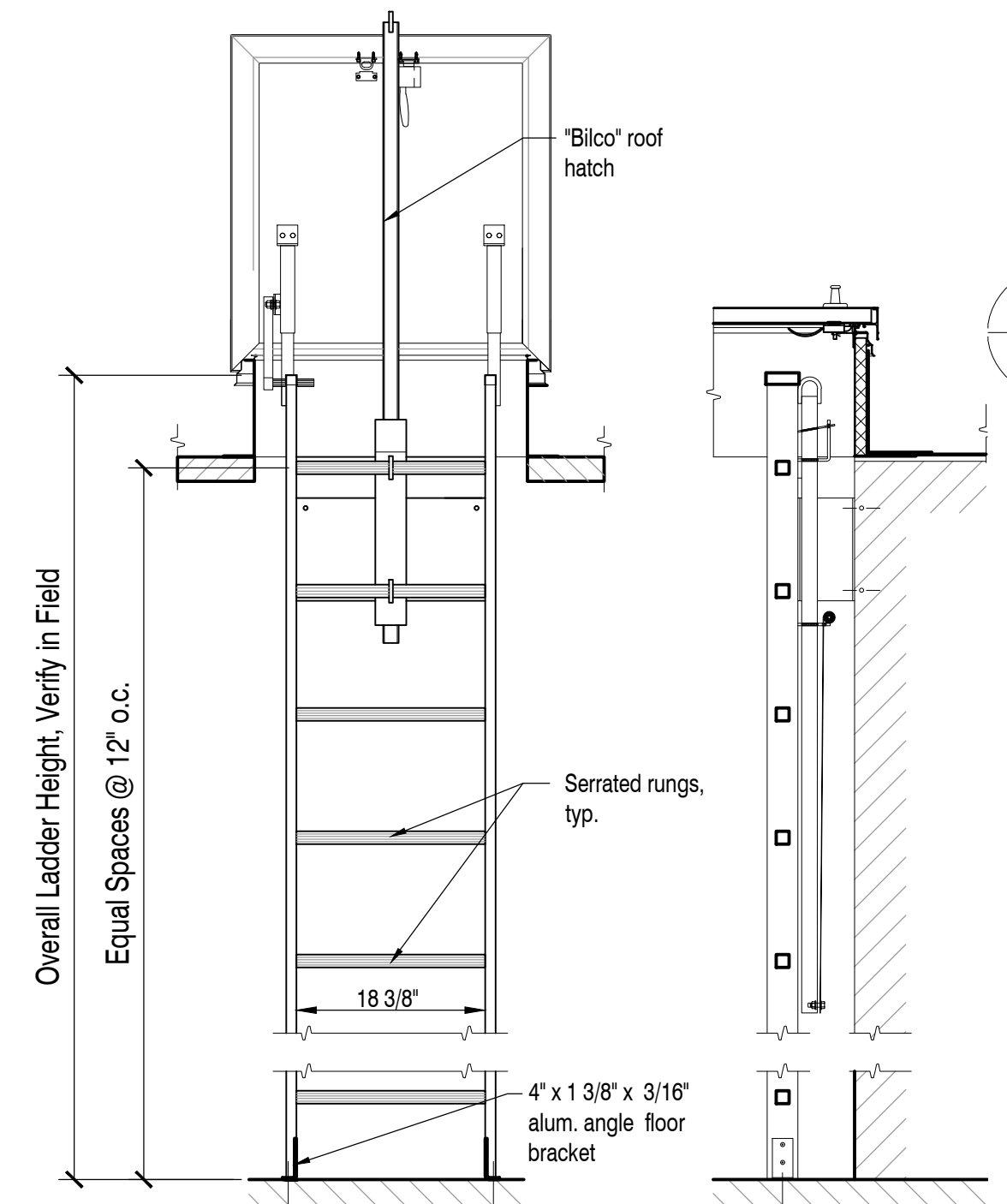
13 Roof Access Hatch - Plan  
A8.2 Scale: 3/4\"/>



11 Detail at Parapet  
A8.2 Scale: 1 1/2\"/>



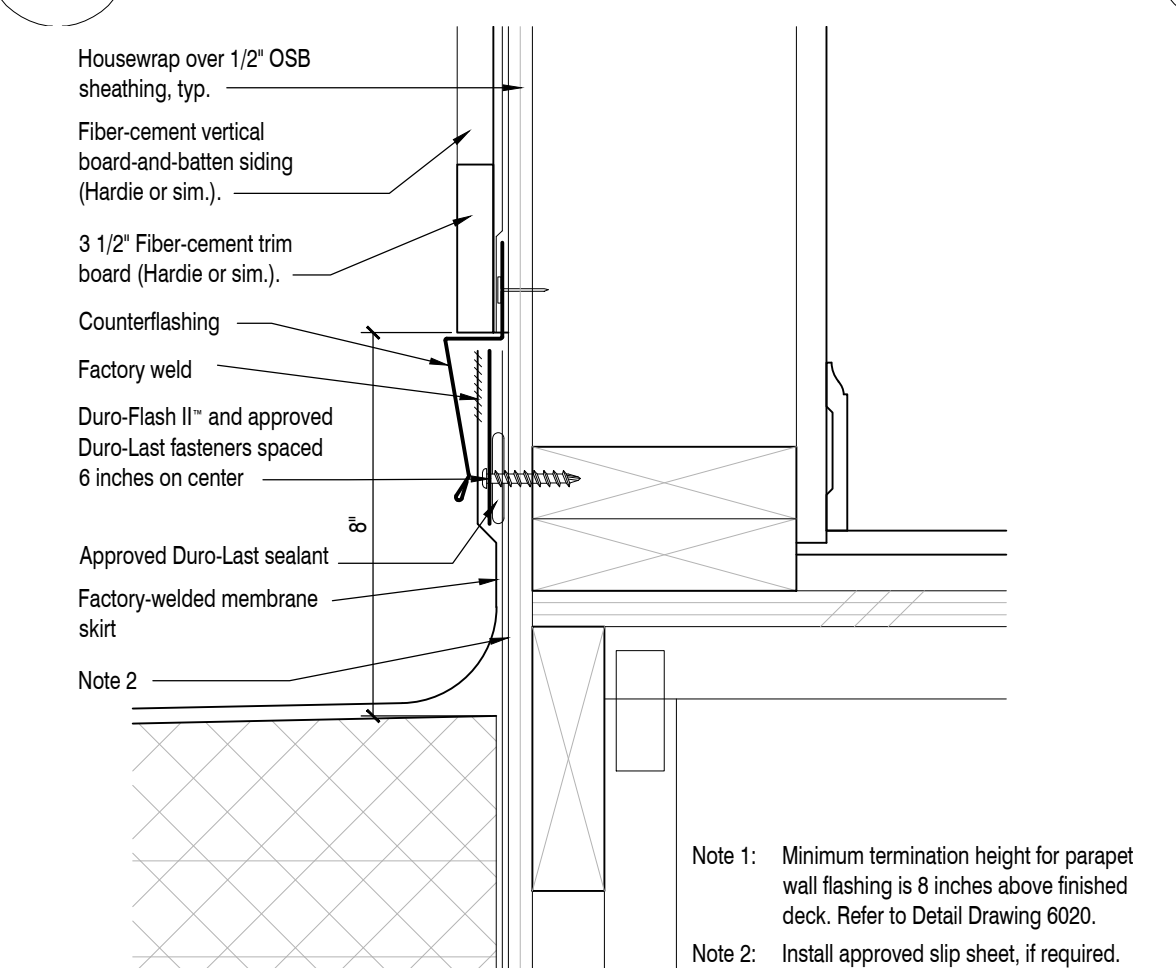
9 Roof Access Hatch - Flashing Section  
A8.2 Scale: N.T.S.



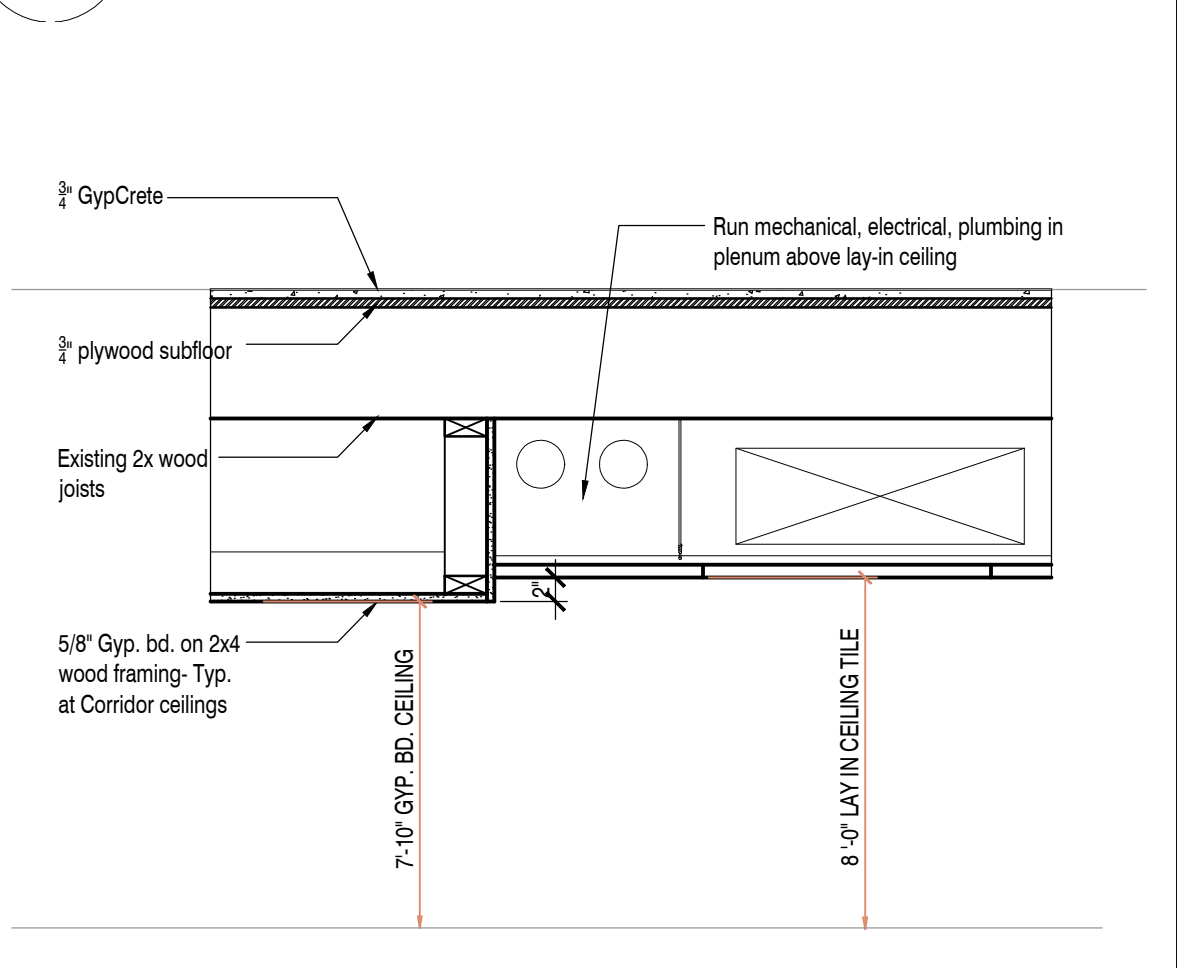
5 Roof Access Ladder - Elev./Section  
A8.2 Scale: 3/4\"/>

7 Inside Wall Termination  
A8.2 Scale: N.T.S.

8 Thru-Roof Pipe Penetration Flashing  
A8.2 Scale: N.T.S.

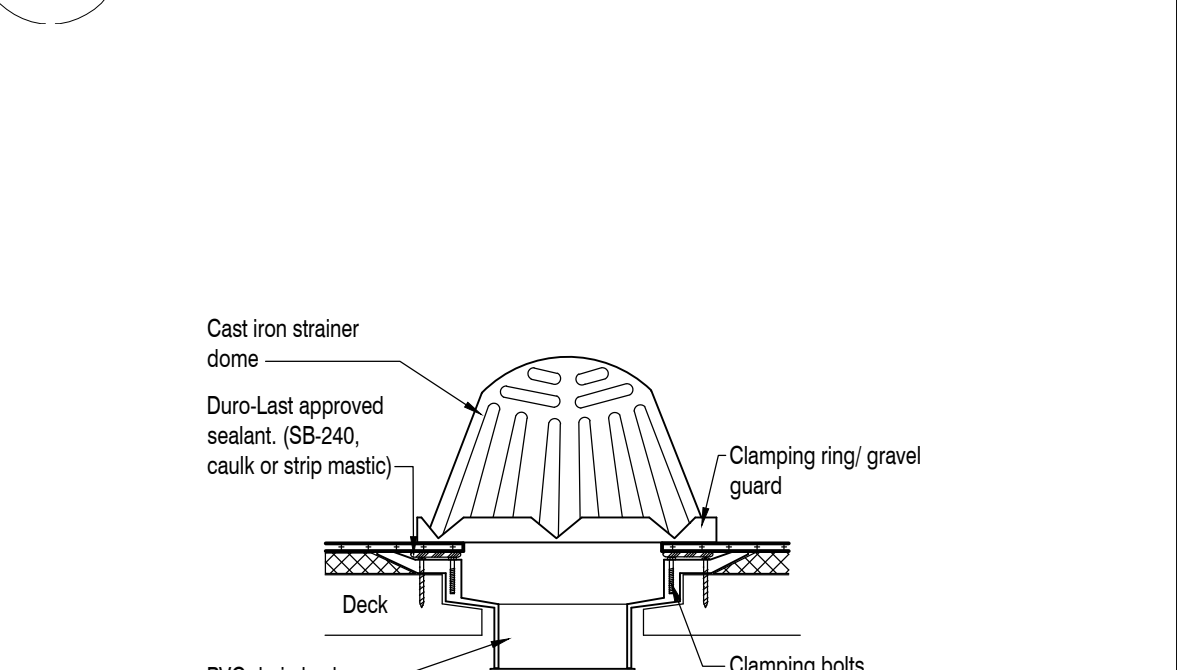


2 Roof Drain Detail Durolast Detail No. 2011  
A8.2 Scale: n.t.s.

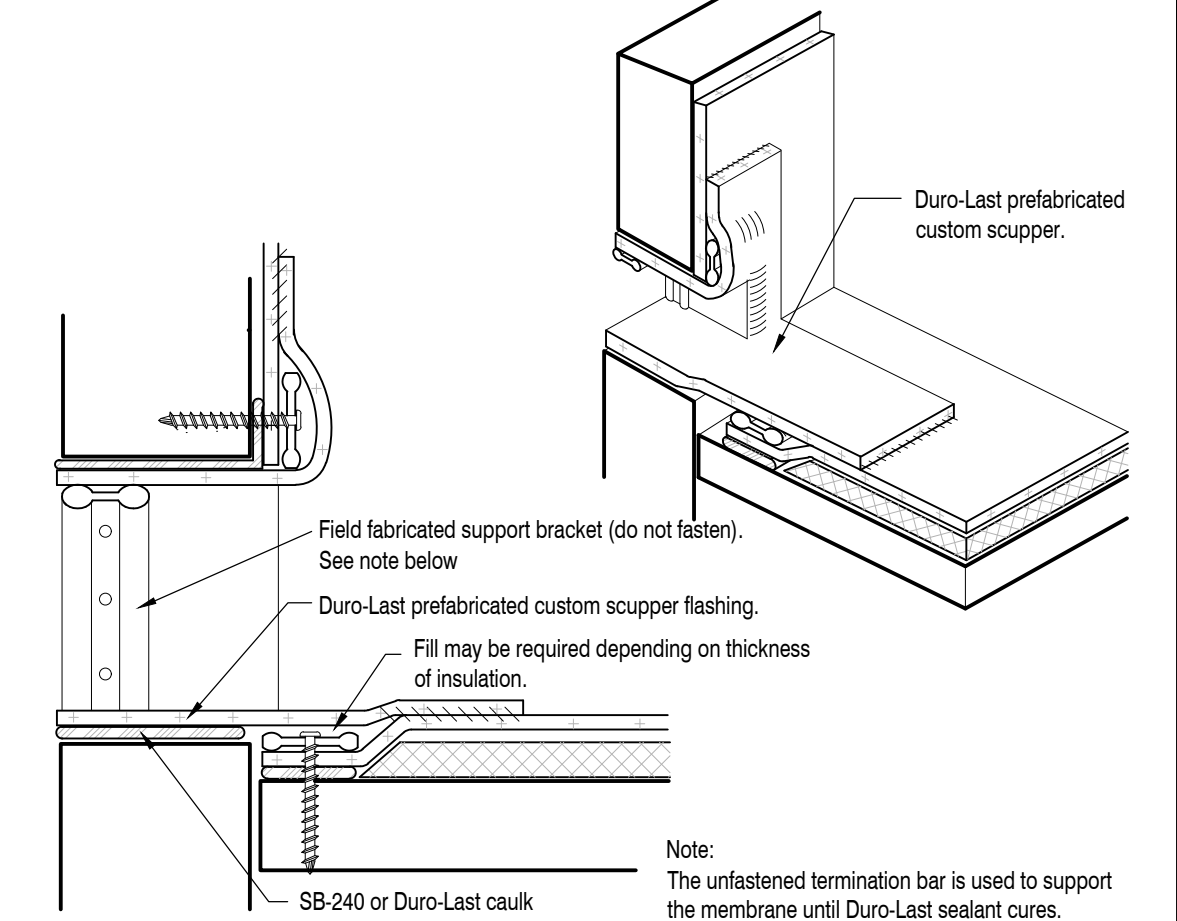
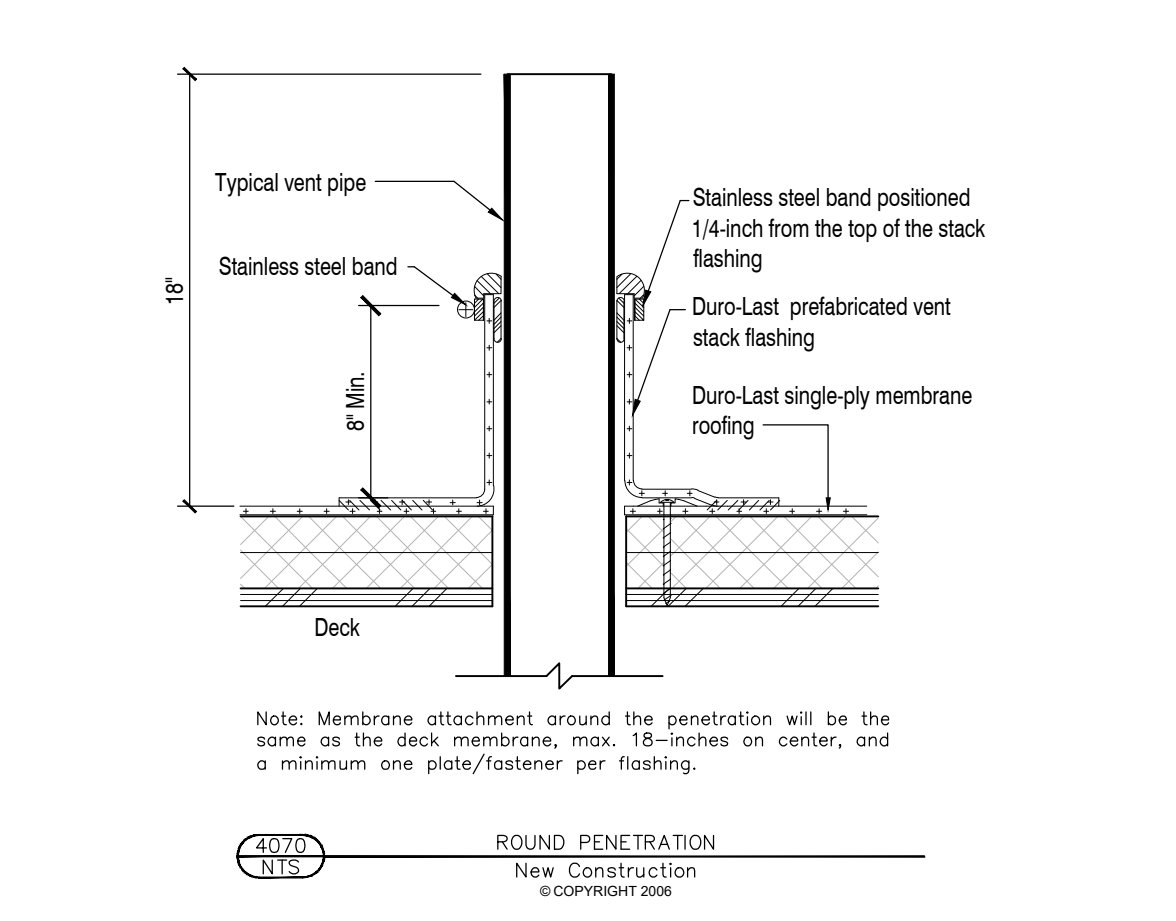
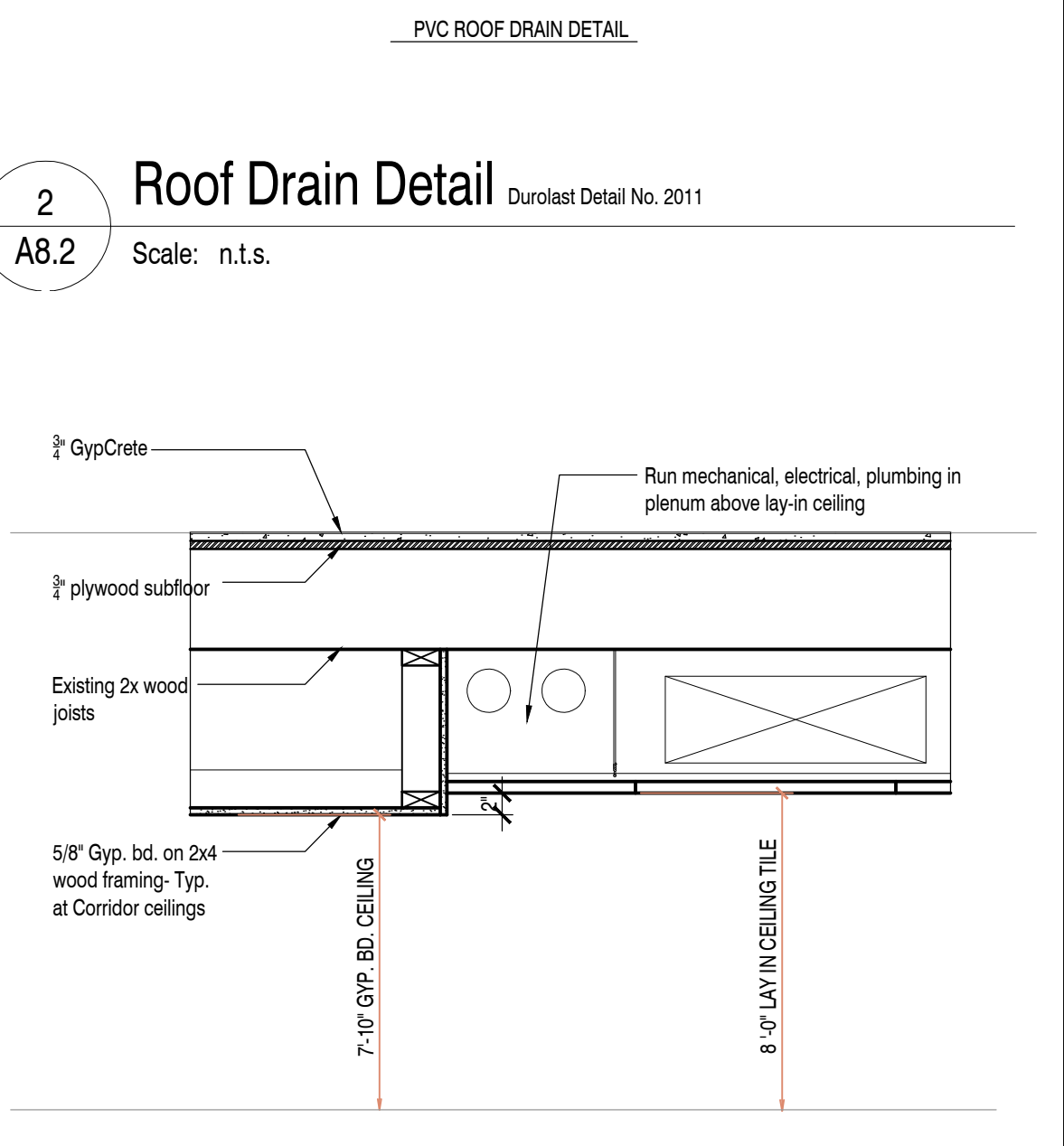


1 Detail at Corridor Ceiling  
A8.2 Scale: 3/4\"/>

3 Prefab. Metal Flange Scupper  
A8.2 Scale: N.T.S.



4 Open End Scupper  
A8.2 Scale: N.T.S.



**SHELTER**  
DESIGN STUDIO LLC

104 W. Fourth Street  
Suite 303  
Royal Oak, Michigan 48067

248.629.7153 ph.  
248.629.7154 fax

www.SHELTERSTUDIO.ILLC.com

Architect of Record

STATE OF MICHIGAN  
STEPHEN G. PARISEAU  
ARCHITECT  
No. 1301060682  
LICENSED ARCHITECT

104 W. Fourth St., Suite 303  
Royal Oak, MI 48067

248.629.7153 ph.

Owner

DEVELOP DETROIT  
1452 Randolph Street, Suite 300  
Detroit, MI 48226

Project

Apartment Renovation  
LINWOOD APARTMENTS  
2295 W Grand Blvd  
Detroit, MI 48208

1"=1'-0" 1/2"=1'-0" 1/8"=1'-0"  
3" 3/8"=1'-0" 0"

1 1/2"=1'-0" 3/4"=1'-0" 1/4"=1'-0"

Issued For Date  
Bids & Permits 08.12.2024  
Revised Bids & Permits 09.10.2024

Drawing Title  
**Details**

2021-248  
Project No.  
JMHP SGP  
Drawn By Checked By  
As Noted  
Scale

**A8.2**  
Drawing No.